

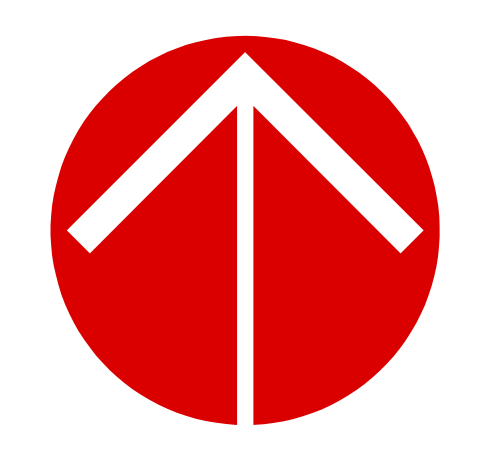
# Proposed Apartments Zain Place

580 Main Street  
North Oxford, Massachusetts

## Project Location 580 Main Street, North Oxford, MA



## Locus Map



North

BUILDING FOOTPRINT = 16,292 SF

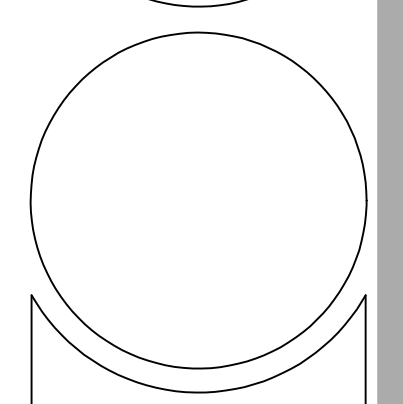
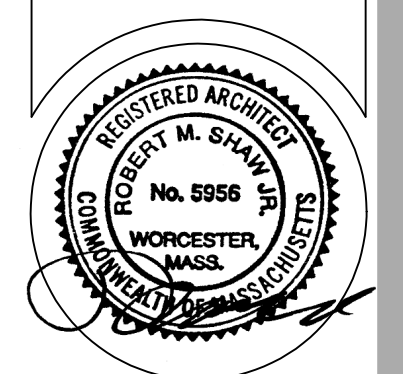
TOTAL FLOOR AREA = BASEMENT/PARKING +  
3 FLOORS @ 16,292 SF = 65,168 SF

APARTMENT BREAKDOWN:  
3 BEDROOMS = 4 UNITS  
2 BEDROOMS = 15 UNITS  
1 BEDROOM = 17 UNITS  
STUDIO = 4 UNITS

GROUP 2  
3 BEDROOMS = 1 UNIT  
1 BEDROOM = 1 UNIT

TOTAL = 42 UNITS

Preliminary  
4/12/2023



Scale:	None
Date:	4/12/2023
Drawn:	RMS
Checked:	RMS
Project:	2023

PROJECT NAME	Proposed Zain Place North Oxford, Massachusetts
TITLE SHEET	

PROJECT WEBSITE

dimensions

Architecture / Design

633 Main Street  
North Oxford, MA 01544  
Phone: (508) 888-8888  
Email: info@dimensions243.com

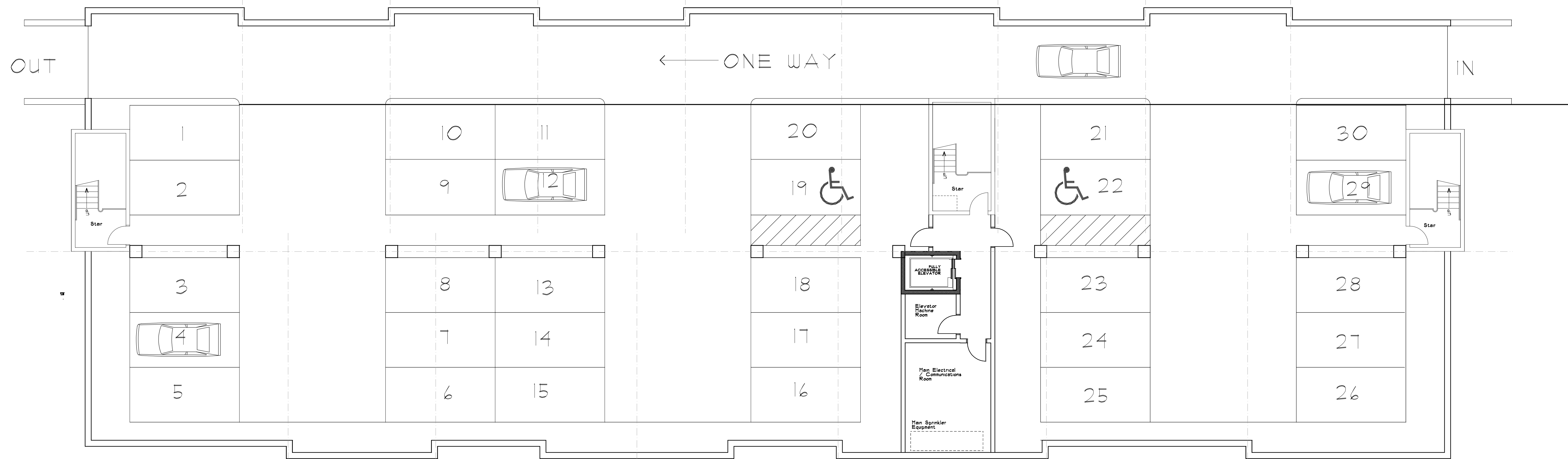
DRAWING NUMBER

T-1

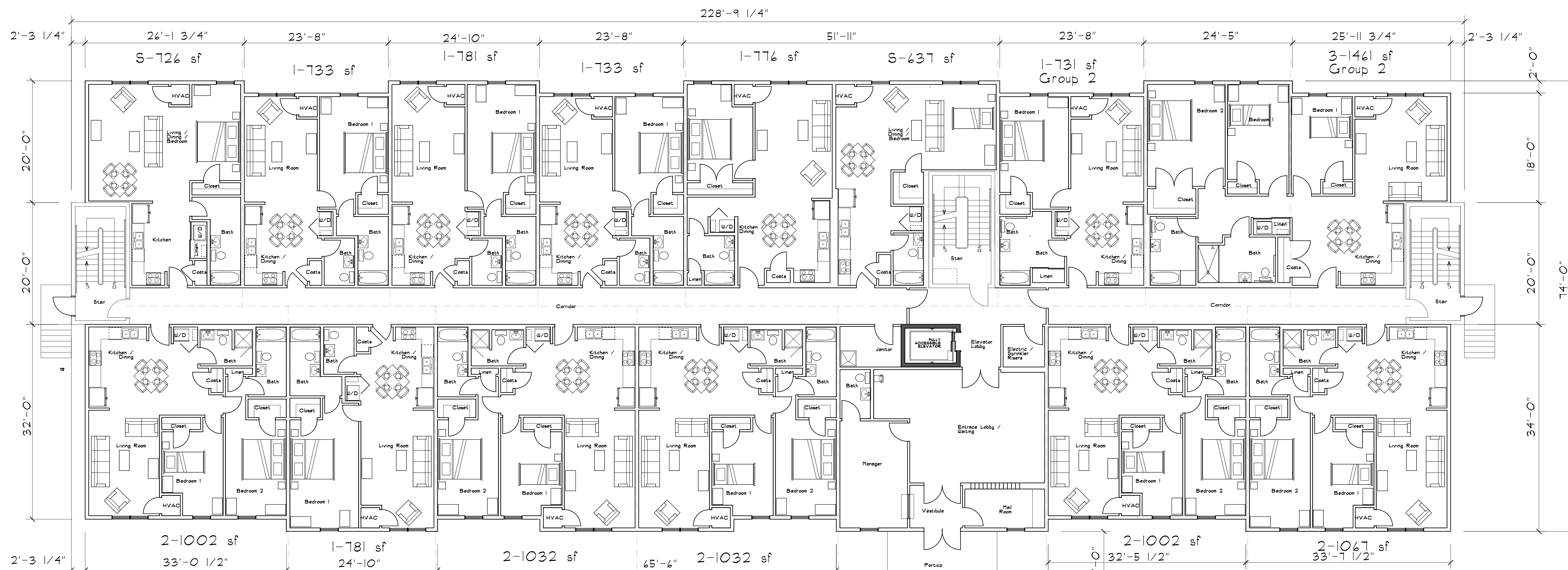
1" = 10' Scale Check

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**PROPOSED  
BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



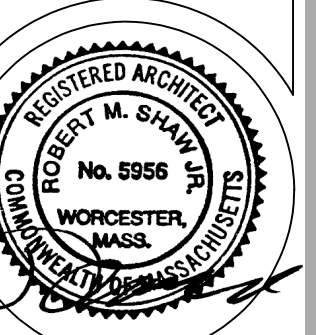
**PROPOSED  
FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

14 Units - 1st Floor  
14 Units - 2nd Floor  
14 Units - 3rd Floor  
42 Units Total

#### Units Breakdown

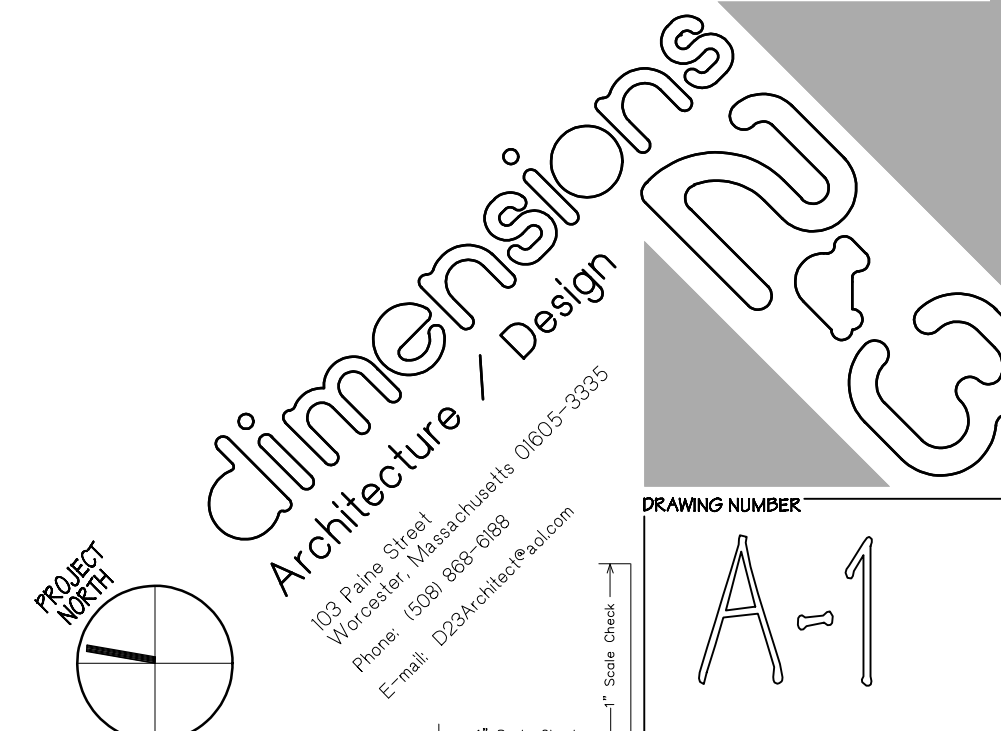
1 - 3 Bedroom  
5 - 2 Bedroom  
6 - 1 Bedroom  
2 - Studio

Preliminary  
4/12/2023

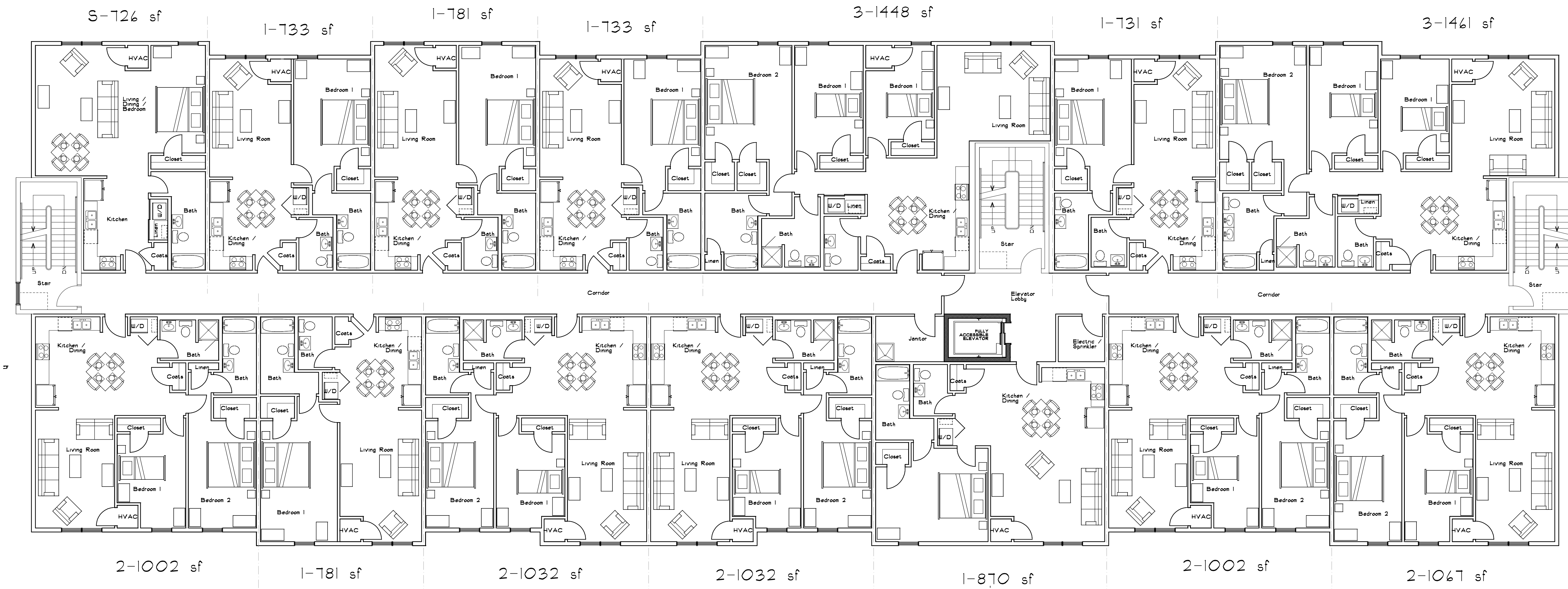


Scale: 1/8" = 1'-0"  
Date: 4/12/2023  
Drawn: RMS  
Checked: RMS  
Project: 2261

Basement Floor Plan  
First Floor Plan  
Proposed  
Zain Place  
550 Main Street  
North Attleboro, Massachusetts





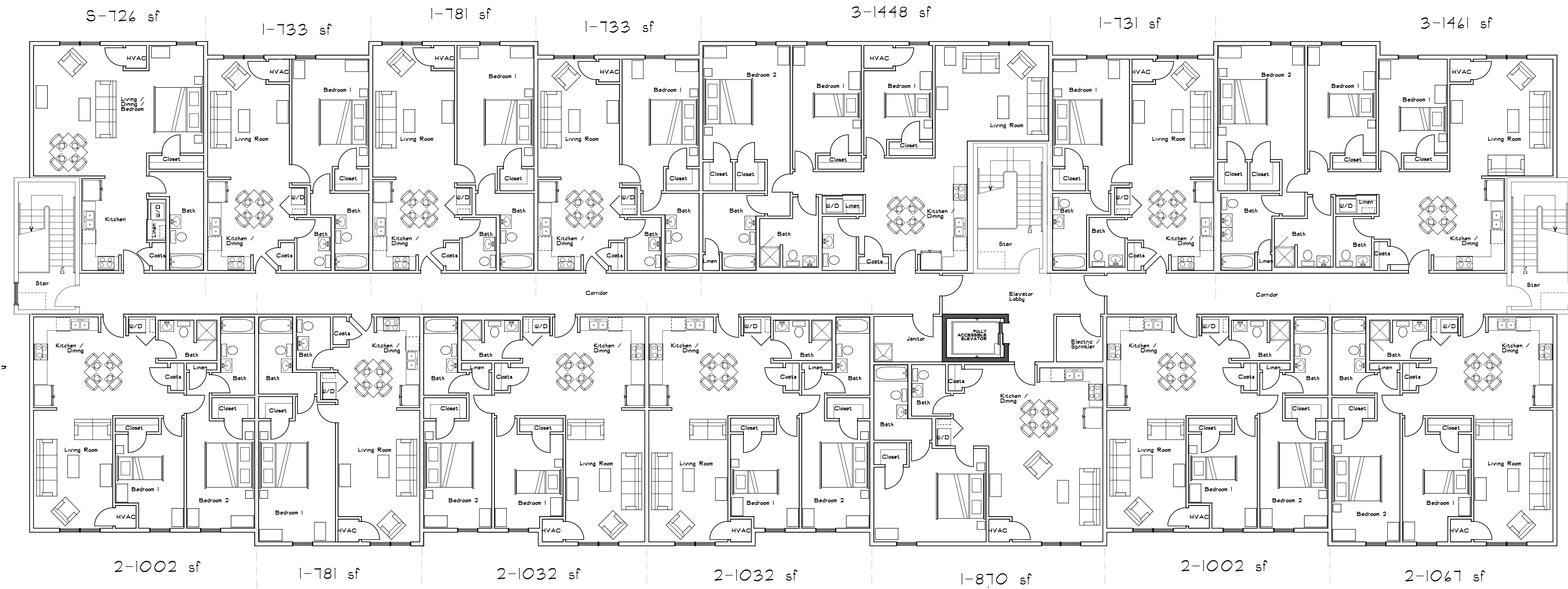


**PROPOSED  
SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

14 Units - 1st Floor  
14 Units - 2nd Floor  
14 Units - 3rd Floor  
42 Units Total

**Units Breakdown**

- 2 - 3 Bedroom
- 5 - 2 Bedroom
- 6 - 1 Bedroom
- 1 - Studio



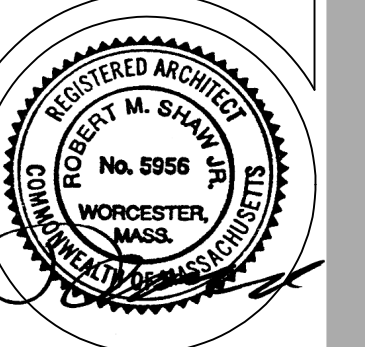
**PROPOSED  
THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

14 Units - 1st Floor  
14 Units - 2nd Floor  
14 Units - 3rd Floor  
42 Units Total

**Units Breakdown**

- 2 - 3 Bedroom
- 5 - 2 Bedroom
- 6 - 1 Bedroom
- 1 - Studio

Preliminary  
4/12/2023



REVISIONS	
Scale:	1/8" = 1'-0"
Date:	4/12/2023
Drawn:	RMB
Checked:	RMB
Project:	2061

**Second Floor Plan**  
**Third Floor Plan**  
PROJECT NAME: Zeln Place  
550 Main St., North Oxford, Massachusetts

**Dimensions**  
Architecture / Design

100 Park Street  
Boston, MA 02114  
Phone: (617) 552-8888  
Email: info@dimensions263.com

**DRAWING NUMBER**  
A-2





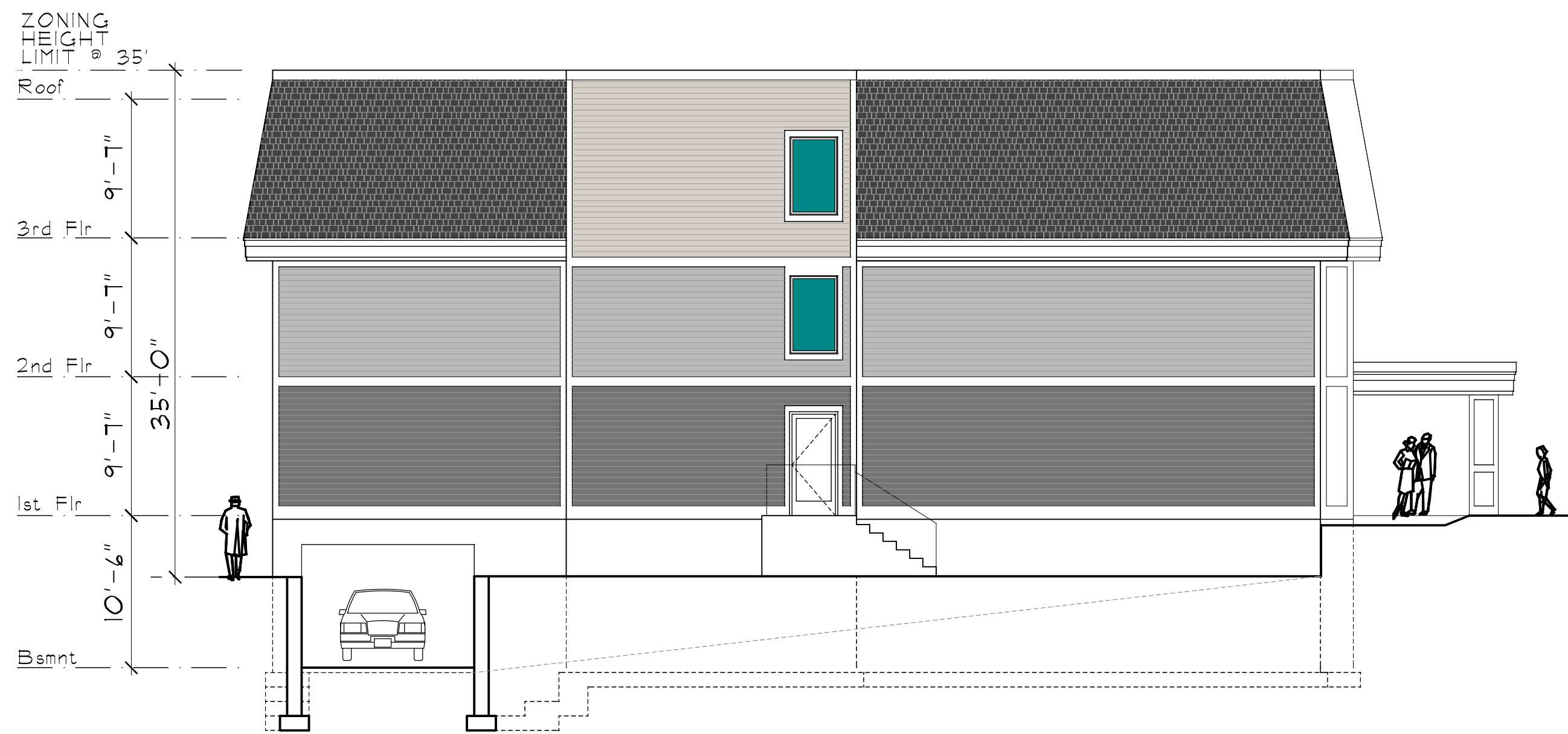
Front / West Elevation

SCALE: 1/8" = 1'-0"



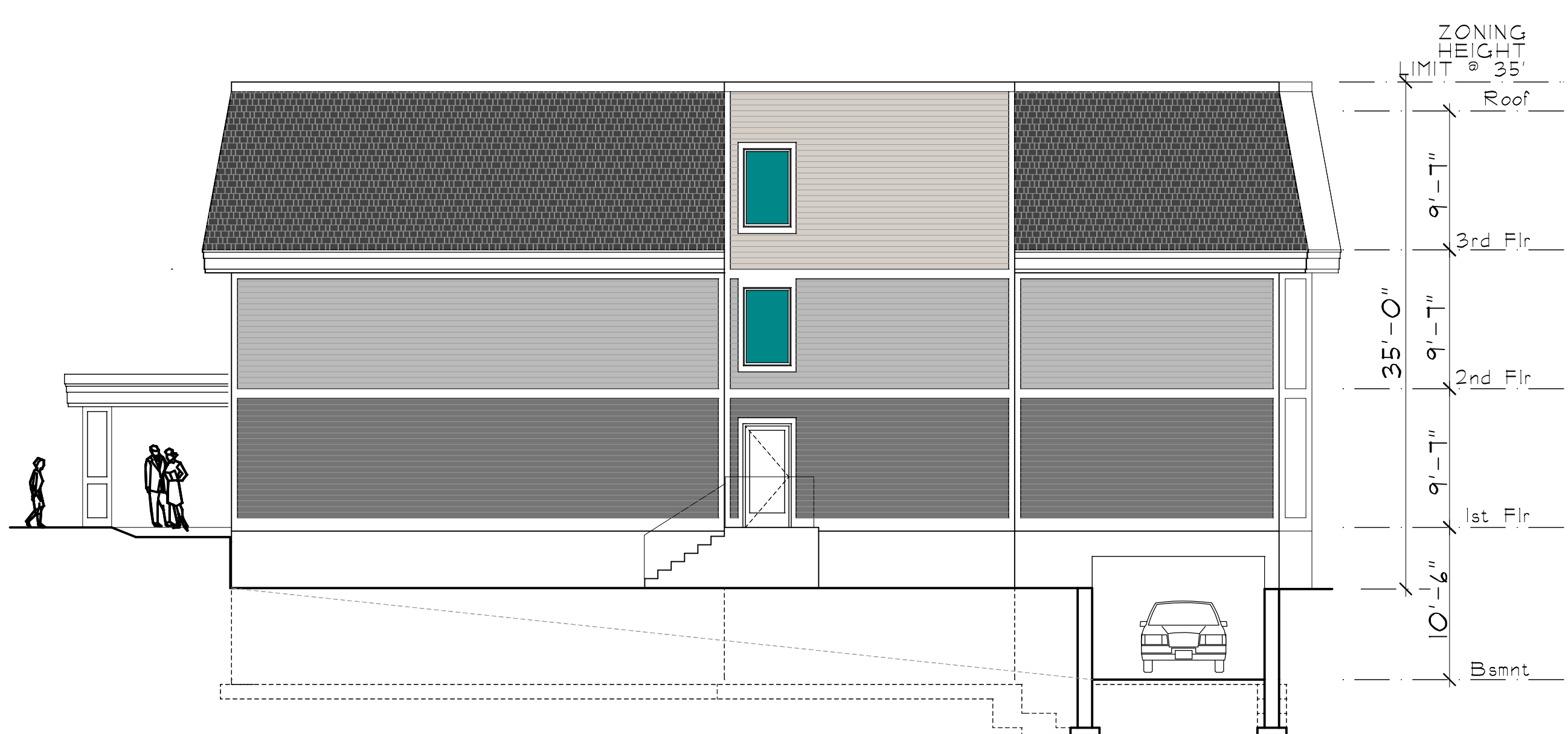
Rear / East Elevation

SCALE: 1/8" = 1'-0"



North Elevation

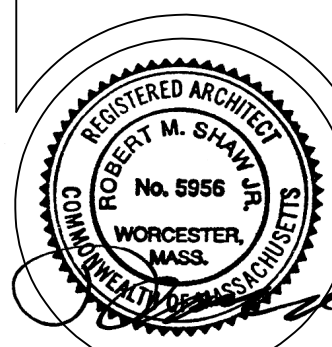
SCALE: 1/8" = 1'-0"



South Elevation

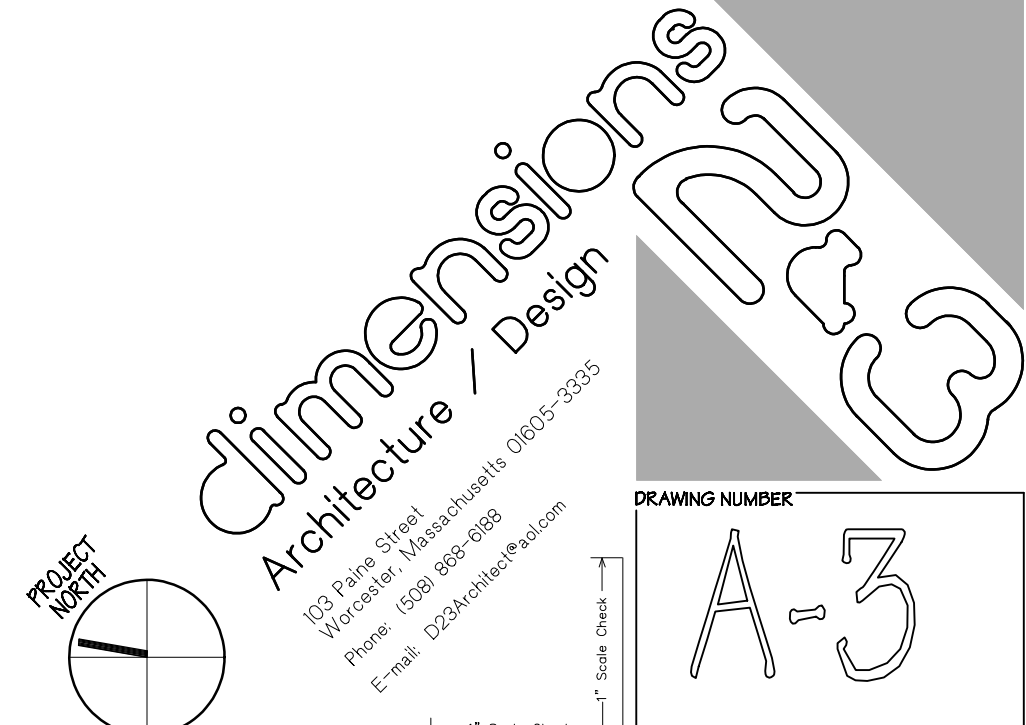
SCALE: 1/8" = 1'-0"

Preliminary  
4/12/2023



Scale:	1/8" = 1'-0"
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Drawn:	RMS
Checked:	RMS
Project:	2061

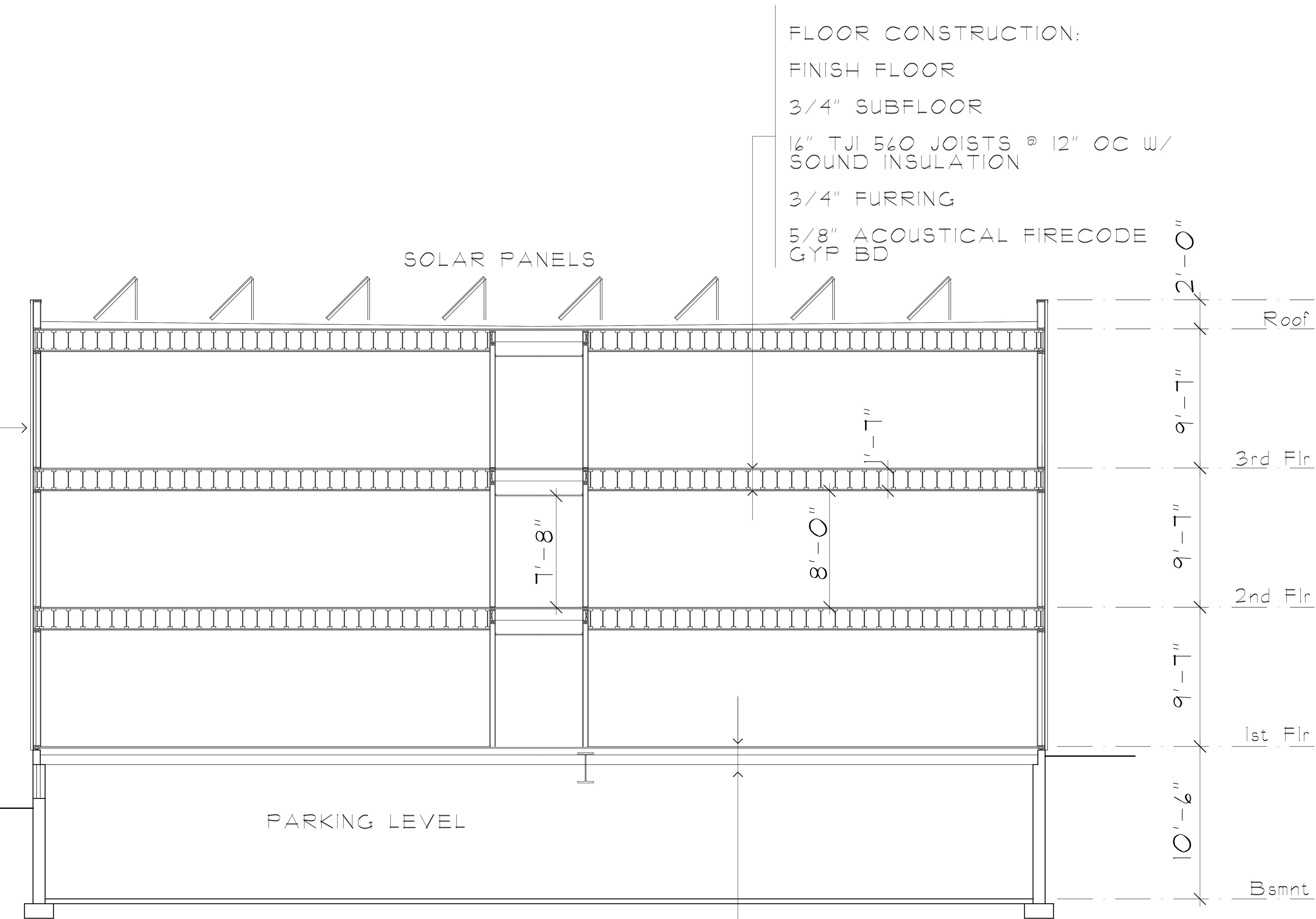
Exterior Elevations  
Proposed  
Zain Place  
550 Main Street  
North Oxford, Massachusetts





EXTERIOR WALL:  
2X6 STUDS @ 16" O.C.  
1" RIGID CONTINUOUS @ R-5  
1/2" ZIP BOARD  
2" CLOSED CELL SPRAY INSULATION @ R-10  
3 1/2" FIBERGLASS INSULATION @ R-11  
5/8" GYP BD  
TOTAL R-VALUE = 26  
(MIN REQUIRED = 20)

5A CONSTRUCTION  
1 HOUR RATED BEARING WALLS  
1 HOUR RATED FLOORS  
FULLY SPRINKLERED



Transverse Building Section  
SCALE: 1/4" = 1'-0"

FLOOR CONSTRUCTION:

FINISH FLOOR

3/4" SUBFLOOR

1/2" TJI 540 JOISTS @ 12" OC W/  
SOUND INSULATION

3/4" FURRING

5/8" ACOUSTICAL FIRECODE  
GYP BD

FLOOR CONSTRUCTION

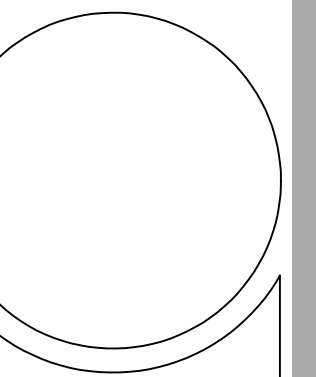
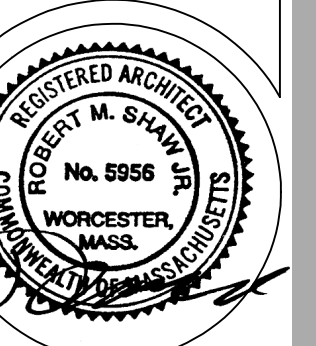
FINISH FLOOR

3/4" SUBFLOOR

2X6 FRAMING W/ FOAM INS

8" CONCRETE PLANK

Preliminary  
4/12/2023

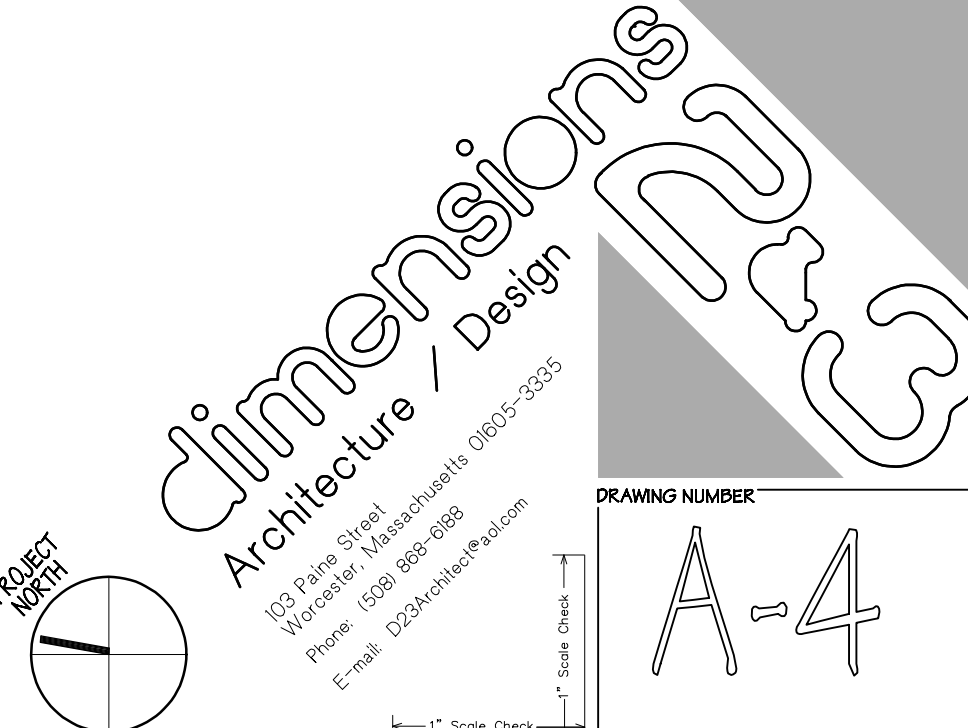


REVISIONS

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Drawn:	RMS
Checked:	RMS
Project:	2061

Building Section - Transverse

Proposed  
Zain Place  
590 Main Street  
North Oxford, Massachusetts



PLANNING NUMBER  
A-4



# SITE PLANS

PURSUANT MGL 40B & 760 CMR 56 (COMPREHENSIVE PERMITS)

FOR

# ZAIN PLACE

580 MAIN STREET  
NORTH OXFORD, MA

DATE  
July 26, 2023

## PROJECT TEAM

Civil Engineer | Landscape Architect



## ARCHITECT

Dimensions 2 & 3  
103 Paine Street  
Worcester, MA 01605

## SURVEYOR

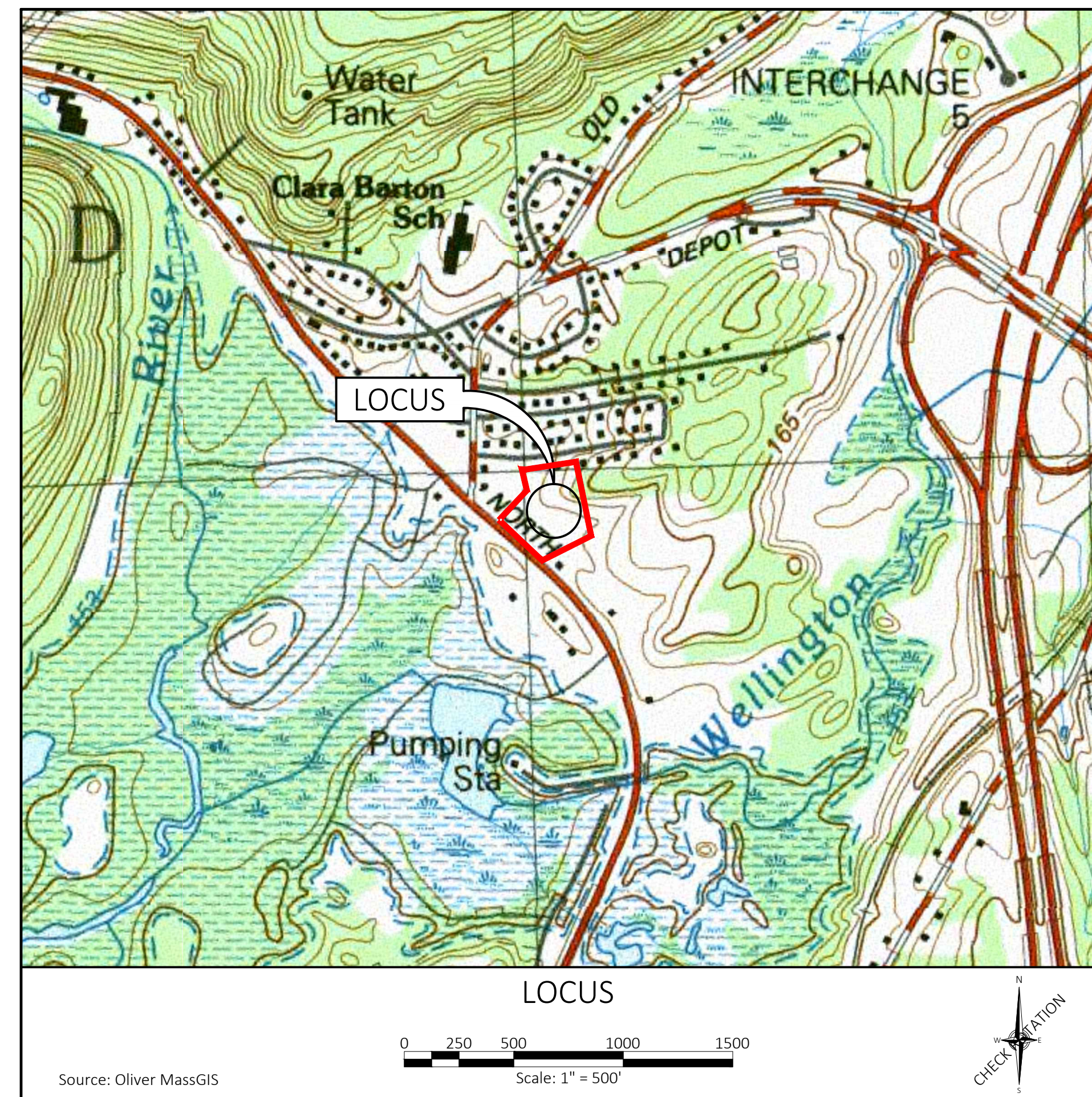
Jarvis Land Survey, Inc.  
29 Grafton Circle  
Shrewsbury, MA 01545

## PROJECT OWNER

Ansari Builders  
6 Edgewood Road  
Westborough, MA 01581

## PROJECT APPLICANT

Ansari Builders  
6 Edgewood Road  
Westborough, MA 01581



## SHEET INDEX

SHEET NO.	SHEET TITLE
C-001	GENERAL NOTES, LEGEND, ABBREVIATIONS
V-101	EXISTING CONDITIONS PLAN
C-101	LAYOUT & MATERIALS PLAN
C-201	GRADING, DRAINAGE & UTILITY PLAN
C-401	DETAILS - EROSION CONTROL
C-402	DETAILS - DRAINAGE & UTILITIES
C-403	DETAILS - SITE IMPROVEMENTS
C-404	DETAILS - LANDSCAPING
EX-101	VEHICLE TURNING EXHIBIT (FIRE APPARATUS)
EX-102	VEHICLE TURNING EXHIBIT (REFUSE TRUCK)
EX-103	VEHICLE TURNING EXHIBIT (WB-40; MOVING TRUCK)



1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND IS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO SUBMIT A NOTICE OF INTENT WITH THE EPA AND SECURE AND COMPLY WITH THE CG IN ACCORDANCE WITH THE NPDES REGULATIONS.
2. A MINIMUM OF SEVENTY-TWO (72) HOURS BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99), MUNICIPAL UTILITY DEPARTMENTS, AND UTILITY DISTRICTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION NOTIFICATION AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK AND COORDINATE WITH THE PROJECT ARCHITECT AND ENGINEER AS NECESSARY.
4. THE CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
5. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 18 & 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
6. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY, JOB SAFETY AND CONSTRUCTION MEANS AND METHODS. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND STATE AND LOCAL REQUIREMENTS.
8. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS, STORMWATER BASINS OR WETLAND RESOURCES.
9. ANY ALTERATIONS MADE IN THE FIELD TO THE WORK SHOWN ON THESE DRAWINGS SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
10. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING RECORD AS-BUILT DRAWINGS OF ALL SUBSURFACE UTILITIES.
12. ANY AREA DISTURBED BY THE CONTRACTOR OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS AT NO COST TO THE OWNER.

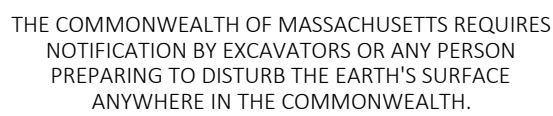
3. PRIOR TO CONSTRUCTION A FENCE SHALL BE PLACED AROUND ALL TREES THAT ARE TO BE MAINTAINED AND PROTECTED. NO CONSTRUCTION ACTIVITY OR STOCKPILING OF MATERIAL SHALL BE ALLOWED WITHIN THE DRIPLINE OF THE EXISTING TREES THAT ARE TO REMAIN.
2. SITE ELEMENTS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
3. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE CONSTRUCTION AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN ANY OTHER PERMIT ISSUED FOR THE SITE.
4. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS DURING CONSTRUCTION TO MINIMIZE THE RUNOFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS, CALCIUM CHLORIDE OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO WATER SUPPLIES AND SURFACE WATERS. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.
5. THE CONTRACTOR SHALL UTILIZE TEMPORARY SEDIMENT PITS OR BASINS AS NECESSARY TO PREVENT SEDIMENT LADEN WATERS FROM ENTERING DRAINAGE FACILITIES. SPECIAL ATTENTION SHALL BE GIVEN TO AREAS FOR PROPOSED STORMWATER INFILTRATION SYSTEMS. IF ADDITIONAL SILTATION CONTROL IS REQUIRED, CHECK DAMS OR SILT FENCES MAY BE PLACED IN DITCHES RECEIVING STORMWATER FROM DISTURBED AREAS, UPON APPROVAL OF THE PROJECT ENGINEER.
6. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED AND TO PROVIDE ADDITIONAL FACILITIES OVER THE ABOVE MINIMUM REQUIREMENTS AS MAY BE REQUIRED.
7. MEASURES FOR CONTROL OF EROSION MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED BEYOND LEVELS ESTABLISHED BY THE STATE OR OTHER CONTROLLING BODY, IN WATERS USED FOR PUBLIC SUPPLY OR FISHING UNLESS OTHER LIMITS HAVE BEEN ESTABLISHED FOR THE PARTICULAR WATER.
8. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS DURING THE DURATION OF CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT EROSION CONTROL BARRIERS ARE INTACT. EROSION CONTROL BARRIERS SHALL BE CLEANED AND MAINTAINED AS REQUIRED TO ENSURE FUNCTIONALITY.
9. AN ANTI-TACKLING CONSTRUCTION ENTRANCE SHALL BE MAINTAINED AT ALL POINTS OF CONSTRUCTION ACCESS AND EGRESS TO PUBLIC RIGHTS-OF-WAY FOR THE DURATION OF CONSTRUCTION.
10. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEPED AND CLEANED AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, WHICH INCLUDES STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION.
12. ALL TOPSOIL WITHIN THE LIMITS OF THE EXCAVATED AREAS SHALL BE STRIPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE AND SEGREGATED FROM SUBSURFACE SOIL MATERIAL. EXCESS TOPSOIL SHALL BE DISPOSED OF ON SITE AS DIRECTED BY THE PROJECT ENGINEER.
13. ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN THE LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.
14. SILT SACKS SHALL BE INSTALLED IN ALL DOWNSTREAM DRAIN INLETS PRIOR TO CONSTRUCTION TO CONTROL SILTATION.
15. WITHIN THE LIMIT OF WORK TREES THAT ARE TO BE REMOVED MAY BE CUT BUT BRUSH AND STUMPS SHALL NOT BE REMOVED UNTIL ONE WEEK PRIOR THE START OF CONSTRUCTION. DISTURBANCE OF THE EXISTING GROUND SURFACE SHALL BE MINIMIZED PRIOR TO THE START OF CONSTRUCTION.
16. SILTATION AND SEDIMENTATION BASINS SHALL BE INSTALLED ON SITE TO DE-SILT ALL STORMWATER OR WATER PUMPED FROM EXCAVATED AREAS. PROPOSED DETENTION AND INFILTRATION BASINS MAY BE UTILIZED AS SILTATION POUNDS PROVIDED THAT TOPSOIL AND SUBSOIL IS NOT STRIPPED FROM THE BOTTOM OF THE BASINS. SILTATION AND SEDIMENTATION BASINS SHALL BE CONSTRUCTED TO RECEIVE DISCHARGE FROM SILTATION AND SEDIMENTATION POUNDS IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION. FOLLOWING STABILIZATION OF UPSTREAM TRIBUTARY AREAS, TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM BASINS AND FREE-DRAINING SOIL FILL MATERIAL PLACED FROM PARENT MATERIAL UP TO SUBGRADE. BASIN BOTTOMS SHALL RECEIVE FINAL LOAM AND SEED.
17. EROSION CONTROL BLANKETS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS FOR AREAS REQUIRING SLOPE STABILIZATION AND SHALL BE LOADED, SEEDED AND FERTILIZED PRIOR TO THE PLACEMENT OF THE BLANKETS.
18. CONTRACTOR SHALL DIVERT STORMWATER RUNOFF AROUND THE SITE AS REQUIRED AND DRAINAGE SHALL BE RESTORED TO CONDITION EXISTING PRIOR TO CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
19. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED OR LOAMED AS SOON AS PRACTICABLE.

1. INSTALL CONSTRUCTION ENTRANCE.
2. CLEAR AND GRUB ONLY AS NECESSARY FOR SAFE ACCESS TO SITE FOR TREE REMOVAL EQUIPMENT AND MACHINERY AND THE INSTALLATION OF EROSION CONTROL BARRIER AND SEDIMENT CONTROL MEASURES AROUND THE INITIAL STAGING AREA(S).
3. FELL TREES WITHIN APPROVED LIMITS OF CLEARING (WORK AREA).
4. INSTALL EROSION CONTROL BARRIERS AND SEDIMENT CONTROL MEASURES AS WELL AS LIMIT OF WORK DEMARCATION (FLAGGING OR FENCING) AS MAY BE SHOWN ON THE DRAWINGS OR REQUIRED BY PERMIT GRANTING AUTHORITIES.
5. EXCAVATE TEMPORARY SEDIMENTATION BASINS TO ONE FOOT ABOVE BOTTOM OF BASIN ELEVATION AND CONSTRUCT TEMPORARY DIVERSION SWALES TO DIRECT SEDIMENTATION RUNOFF TO BASINS.
6. CLEAR AND GRUB WITHIN LIMIT OF WORK AREA AND PROPERLY DISPOSE OF STUMPS AND BRUSH.
7. PERFORM SITE CUT AND FILL OPERATIONS AND ESTABLISH ROUGH SUB-GRADES.
8. ROUGH GRADE PAVED AREAS.
9. LOAM AND SEED TEMPORARY SEDIMENT BASINS AND TEMPORARY DIVERSION SWALES.
10. ESTABLISH STOCKPILE AREA AND SURROUND WITH EROSION CONTROL BARRIER. AVOID STOCKPILING IN VALLEYS OR LOW-LYING AREA WHERE SUSCEPTIBLE TO EROSION.
11. MAINTAIN CONSTRUCTION ENTRANCE, EROSION CONTROL MEASURES, TEMPORARY DIVERSION SWALES AND TEMPORARY SEDIMENTATION BASINS THROUGHOUT DURATION OF CONSTRUCTION. REMOVE SEDIMENT IN TEMPORARY BASIN(S) WHEN ACCUMULATED TO A DEPTH OF TWELVE (12) INCHES.
12. SEDIMENTATION BASINS TO REMAIN DURING EARTHWORK OPERATIONS. ALL SEDIMENT SHALL BE REMOVED FROM BASINS AND BOTTOM OF BASINS EXCAVATED TO FIRM BOTTOM ELEVATION FOLLOWING STABILIZATION OF DISTURBED AREAS.
13. EROSION AND SEDIMENT CONTROL IS SUBJECT TO CHANGE BASED UPON FIELD CONDITIONS, CONSTRAINTS, AND OTHER UNFORESEEN FACTORS.

1. ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTERLINE OF PAVEMENT MARKINGS UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING.
5. EXISTING PROPERTY LINE MONUMENTATION SHALL BE PROTECTED DURING CONSTRUCTION. ANY MONUMENTATION DISTURBED DURING CONSTRUCTION OR ANY PROPOSED MONUMENTATION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. SYMBOLS OF PROJECT FEATURES DEPICTED IN THESE DRAWINGS ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S SPECIFICATIONS, SHOP DRAWINGS AND FIELD MEASUREMENTS FOR ACCURATE INFORMATION.
7. EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN CONTAINING THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.

1. THE CONTRACTOR SHALL CONFIRM THE SIZE AND POSITION OF ALL UTILITIES TO SITE AND COORDINATE WITH RESPECTIVE UTILITY COMPANIES REGARDING ANY UTILITIES THAT REQUIRE REMOVAL OR RELOCATION. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT DEPICTED HEREON. NO WARRANTIES IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF SUBSURFACE UTILITY LOCATIONS OR DISPOSITION, UNLESS OTHERWISE NOTED ON THE PLAN.
3. CONTRACTOR SHALL CONFIRM DEPTH(S) OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE PROJECT SURVEYOR AND ENGINEER.
5. PROVIDE CURBING TO PROTECT UTILITY LINES DURING CONSTRUCTION AS NECESSARY.
6. THE CONTRACTOR SHALL PROTECT SUBSURFACE DRAINAGE, SEWER AND ALL OTHER UTILITIES FROM EXCESSIVE VEHICLE LOADS DURING CONSTRUCTION. FACILITIES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER OR UTILITY OWNER.
7. ALL DRAIN PIPE SHALL BE CLASS III RCP (ASTM C76) OR SMOOTH INTERIOR CORRUGATED POLYETHYLENE (CPE TYPE S; ASHSTO M252 OR M294), UNLESS OTHERWISE NOTED. PIPE LENGTHS ARE MEASURED CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
8. ALL GRAVITY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D3034) WITH WATERTIGHT INTEGRAL BELL GASKETED JOINT (ASTM D3212) AND ELASTOMERIC GASKET (ASTM F477), UNLESS OTHERWISE NOTED.
9. ALL FORCE MAIN SEWER PIPE SHALL BE SDR 21 PVC (200 PSI RATED, ASTM D2241) WITH WATERTIGHT JOINTS (ASTM D2672 OR D3212 AS ALLOWED), UNLESS OTHERWISE NOTED.
10. ALL WATER MAIN PIPE AND FITTINGS SHALL BE CLD CLASS 52 (AWWA C151, C110 & C104) WITH RUBBER GASKETED JOINTS (AWWA 111), UNLESS OTHERWISE NOTED. ALL WATER SERVICES TO BE PRESSURE RATED PE OR COPPER AS REQUIRED AND APPROVED BY DPW. PROVIDE FIVE (5) FEET MINIMUM COVER ON ALL WATER MAINS AND SERVICES.
11. WHERE 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS CANNOT BE MAINTAINED, CROWN OF SEWER MAIN SHALL BE EIGHTEEN (18) INCHES BELOW BOTTOM OF WATER MAIN, IN ACCORDANCE WITH SECTION 9.7.2 OF MASSDEP "GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" (AS DEFINED IN 310 CMR 22.02).
12. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF GAS, ELECTRIC, TELECOMMUNICATIONS AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AS REQUIRED. WHERE AN EXISTING UTILITY IS IN CONFLICT WITH THE PROPOSED WORK THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE OWNER AND PROJECT ENGINEER FOR RESOLUTION.
13. PROPOSED GAS, ELECTRIC, TELECOMMUNICATIONS AND CABLE TV DEPICTED IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR FINAL PLANS AND SPECIFICATIONS.
14. CONTRACTOR SHALL COORDINATE CONNECTION TO MUNICIPAL FIRE ALARM.
15. ALL UTILITIES INCLUDING CONCRETE PADS ARE TO BE INSTALLED PER UTILITY COMPANY OR LOCAL DPW STANDARDS AS APPLICABLE.
16. ALL UTILITY COVERS, GRATES, HATCHES, ETC., SHALL BE FLUSH WITH THE PAVEMENT FINISHED GRADE.
17. EXISTING PAVEMENT SHALL BE SAW CUT AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
18. FINAL GRADES SHALL BE PITCHED EVENLY BETWEEN SPOT ELEVATIONS AND ALL AREAS SHALL BE GRADED TO DRAIN WITH NO PUDDLING OR PONDING.
19. THE CONTRACTOR SHALL SCHEDULE THE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBING MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
20. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
21. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION (PER 521 CMR 23.4.3).
22. GRADES IN ACCESSIBLE WALKWAYS SHALL NOT EXCEED 5% (PER 521 CMR 22.3) AND SHALL NOT HAVE A CROSS PITCH OF MORE THAN 2% (PER 521 CMR 22.3.1).
23. RIPRAP APRONS SHALL BE PROVIDED AT ALL FLARED ENDS AND HEADWALLS.
24. RETAINING WALLS OVER FOUR (4) FEET IN HEIGHT ARE TO BE DESIGNED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALLS WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO THE STATE BUILDING CODE (780 CMR).
25. ALL DISTURBED AREAS SHALL BE LOAMED TO A SIX (6) INCH DEPTH AND SEEDED WITH SUITABLE GRASS SEED MIX UNLESS OTHERWISE SPECIFIED ON THE PLANS.

1. ALL PLANT MATERIAL SHALL MEET THE SPECIFICATIONS AND GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK ISSUED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
2. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL SIZE, HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE. ALL PROPOSED SUBSTITUTIONS SHALL BE REVIEWED AND APPROVED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO PURCHASING.
3. FINAL QUANTITIES FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLANS. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL REPORT AND DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
4. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT THE SITE. MATERIAL SHALL BE REMOVED FROM THE PROPERTY BY THE LANDSCAPE CONTRACTOR AND REPLACED WITH PLANT MATERIAL APPROVED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
5. ALL TREES SHALL BE BALLED AND BURLAPPED UNLESS OTHERWISE SPECIFIED.
6. THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW AND ABOVE GRADE UTILITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS.
7. ALL TREE PLANTINGS TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION FROM PROPOSED AND EXISTING SEWER AND WATER LINES.
8. ALL PLANTING BEDS ARE TO BE CROWNED WITH TOPSOIL AND MULCH ABOVE ADJACENT AREAS.
9. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT.
10. THE LANDSCAPE CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL AS SHOWN ON THE PLANS AND SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
11. PROVIDE A 3" DEPTH OF MULCH AS SHOWN ON THE PLANTING DETAILS UNDER AND AROUND ALL PLANT MATERIAL AND IN ALL PLANT BEDS AND LANDSCAPE ISLANDS. MULCH SHALL BE CLEAN, SHREDDED PIN BARK MULCH UNLESS OTHERWISE SPECIFIED. PRIOR TO SPREADING MULCH, APPLY A WEED PRE-EMERGENT SUCH AS "PREN" OR APPROVED EQUAL. FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS.
12. ALL TREES ADJACENT TO SIDEWALKS SHALL HAVE A 6' 8" MINIMUM BRANCHING HEIGHT AT TIME OF PLANTING.
13. LAWN AND DISTURBED SHALL RECEIVE A MINIMUM OF 6" OF LOAM AND SPECIFIED SEED MIX UNLESS OTHERWISE NOTED. AREAS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL AND LAWN AREAS UNTIL DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. WATERING SHALL BE PROVIDED DURING THE FIRST GROWING SEASON WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
15. IF AN IRRIGATION SYSTEM IS PROVIDED THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL COORDINATION WITH THE IRRIGATION CONTRACTOR TO PROVIDE PROPER IRRIGATION TO ALL TREES, PLANT BEDS AND LAWN AREAS UNLESS OTHERWISE NOTED. IRRIGATION DESIGN AND PERMITTING TO BE PROVIDED BY OTHERS.
16. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE AT NO ADDITIONAL COST TO OWNER.



ACRES	AC.
BITUMINOUS CONCRETE	BIT. CONC.
CONCRETE	CONC.
DIAMETER	DIA.
FOUND	FND
LINEAR FEET	L.F.
MAINTAIN AND PROTECT	M&P
NOT TO SCALE	N.T.S.
NOW OR FORMERLY	N / F
PLUS OR MINUS	±
SQUARE FEET	S.F.
REMOVE AND DISPOSE	R&D
REMOVE AND REPLACE	R&R

<b>ENVIRONMENTAL</b>	
100' FLOOD ZONE	
100' WETLAND BUFFER ZONE	100' WBZ
200' RIVERFRONT AREA	
APPROX. BOUNDARY BORDERING VEGETATED WETLAND	BBVV
BOUNDARY BORDERING VEGETATED WETLAND	ABBVV
EROSION CONTROL BARRIER	ECB
STREAM - INTERMITTENT	FIOWT
STREAM - PERENNIAL	FIOWT
WATER BODY	
<b>GRADING &amp; TOPOGRAPHY</b>	
BASEMENT FLOOR ELEVATION	BFE=100.00
CONTOUR - MINOR	100'
CONTOUR - MAJOR	BC=100
CURB - BOTTOM OF CURB	TC=100
CURB - TOP OF CURB	FFE=100.00
FINISH FLOOR ELEVATION	TOF=100.00
FOUNDATION - TOP OF FOUNDATION	GFE=100.00
GARAGE FLOOR ELEVATION	HPx100
HIGH POINT	LPx100
LOW POINT	x100.00
SPOT ELEVATION	
TREELINE	
WALL - BOTTOM OF WALL	BWx100
WALL - TOP OF WALL	TWx100
<b>MATERIALS</b>	
BOLLARD POST	BP
BUILDING	
BUILDING - DOOR	LD
BUILDING - OVERHEAD DOOR	OHLD
BUILDING - OVERHANG	CCB
CAPE COD BERM	BCC
CURB - BITUMINOUS CONCRETE	CC
CURB - CONCRETE	HCC
CURB - HAUNCHED	SGC
CURB - SLOPED GRANITE	VCG
CURB - VERTICAL GRANITE	EOP
EDGE OF PAVEMENT	CLF
FENCE - CHAIN LINK	PFB
FENCE - POST & RAIL	SE
FENCE - STOCKADE	SGR
GUARDRAIL - STEEL	SBWG
GUARDRAIL - STEEL BACK WOODEN	WGR
GUARDRAIL - WOODEN	
HANDICAP ACCESSIBLE PARKING SPACE	
HANDICAP ACCESSIBLE RAMP	WCRT
HANDRAIL - STEEL	SHR
HANDRAIL - WOODEN	WHR
LIGHTPOLE	
RIPRAP	
SIGN	
WALL - CONCRETE	
WALL - HEAD	
WALL - RAILROAD TIE	
WALL - STONE	
WALL - WING	
<b>MONITORING &amp; TESTING</b>	
MONITORING WELL	MW
PERCOLATION TEST	PT-##
TEST PIT	TP-##
<b>UTILITIES &amp; DRAINAGE</b>	
<b>ELECTRIC &amp; COMMUNICATION</b>	
ELECTRIC BOX	E
ELECTRIC, COMMUNICATION & DATA LINE	UGE
ELECTRIC MANHOLE	EMH
OVERHEAD WIRE	OHW
TELEPHONE MANHOLE	TMH
TRANSFORMER	T
UTILITY POLE	LP
<b>GAS</b>	
GAS LINE	G
GAS METER	GM
GATE VALVE	GV
<b>SANITARY SEWER &amp; WASTEWATER</b>	
FORCEMAIN	FM
SANITARY SEWER LINE	S
SANITARY SEWER SERVICE	SS
SANITARY SEWER MANHOLE	SMH
<b>STORMWATER</b>	
AREA DRAIN	AD
CATCH BASIN	CB
CATCH BASIN - D-TYPE	CB D-TYPE
CATCH BASIN - DOUBLE	DCB
CATCH BASIN - LEACHING	LCB
CATCH BASIN - ROUND	CB
DROP INLET	DI
DRAINLINE	D
DRAIN MANHOLE	DMH
FLARED END	FE
FOUNDATION DRAIN	FD
INVERT	INV=100.00
OUTLET CONTROL STRUCTURE	OCS
RIM	R=100.00
ROOF DRAIN	RD
TRENCH DRAIN	TD
<b>WATER &amp; APPURTENANCES</b>	
HYDRANT	HYD
GATE VALVE	GV
REDUCER	
TEE	
WATER LINE	W
WATER SERVICE	WS
WATER SHUT OFF	
WELL	

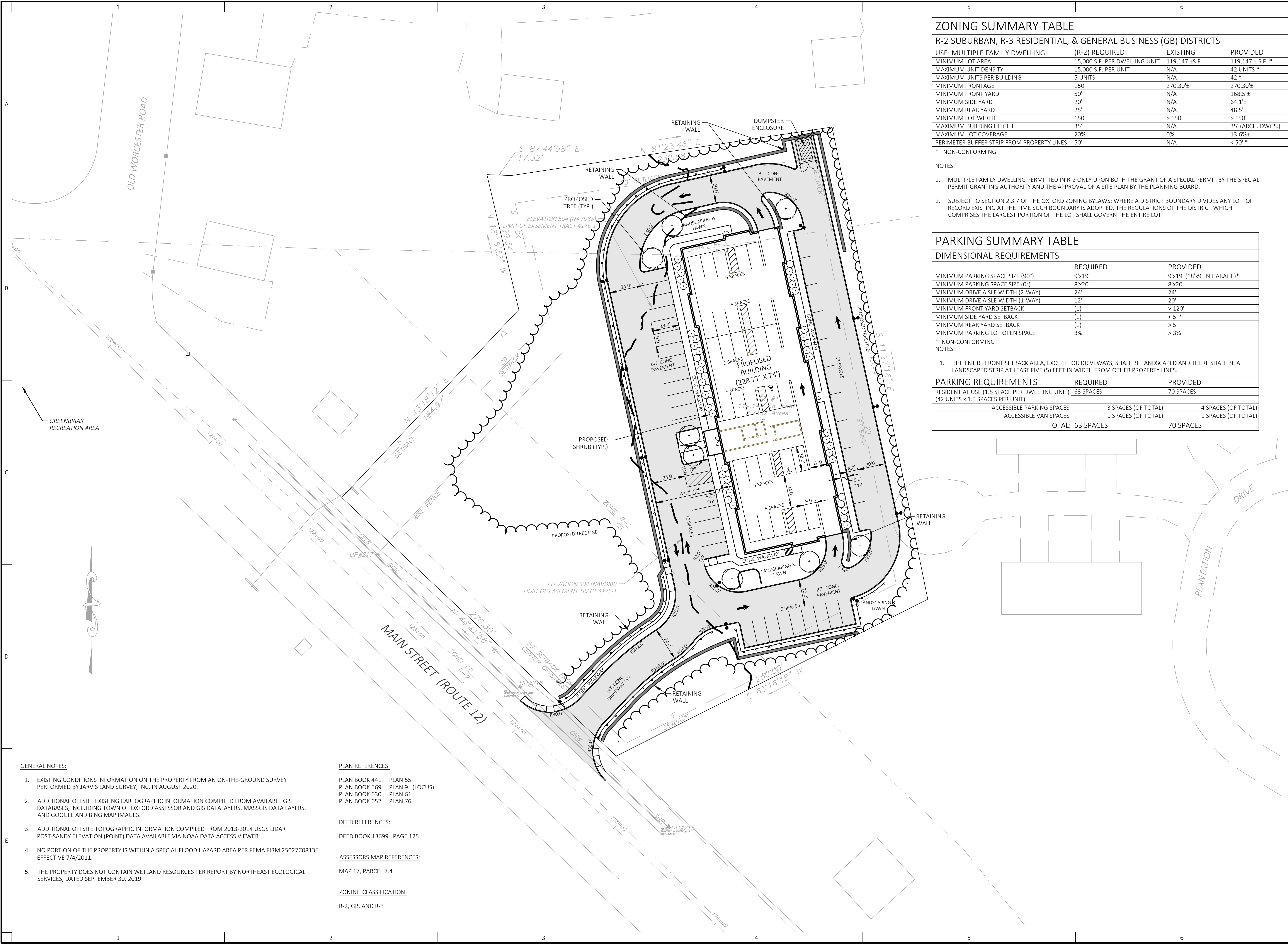
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C-001









ZONING SUMMARY TABLE			
R-2 SUBURBAN, R-3 RESIDENTIAL, & GENERAL BUSINESS (GB) DISTRICTS			
USE: MULTIPLE FAMILY DWELLING	(R-2) REQUIRED	EXISTING	PROVIDED
MINIMUM LOT AREA	15,000 S.F. PER DWELLING UNIT	119,147 ± S.F.	119,147 ± S.F. *
MAXIMUM UNIT DENSITY	15,000 S.F. PER UNIT	N/A	42 UNITS *
MAXIMUM UNITS PER BUILDING	5 UNITS	N/A	42 *
MINIMUM FRONTAGE	150'	270.30'±	270.30'±
MINIMUM FRONT YARD	50'	N/A	168.5'±
MINIMUM SIDE YARD	20'	N/A	64.1'±
MINIMUM REAR YARD	25'	N/A	48.5'±
MINIMUM LOT WIDTH	150'	> 150'	> 150'
MAXIMUM BUILDING HEIGHT	35'	N/A	35' (ARCH. DWGS.)
MAXIMUM LOT COVERAGE	20%	0%	13.6%±
PERIMETER BUFFER STRIP FROM PROPERTY LINES	50'	N/A	< 50' *

- \* NON-CONFORMING
- NOTES:
- MULTIPLE FAMILY DWELLING PERMITTED IN R-2 ONLY UPON BOTH THE GRANT OF A SPECIAL PERMIT BY THE SPECIAL PERMIT GRANTING AUTHORITY AND THE APPROVAL OF A SITE PLAN BY THE PLANNING BOARD.
  - SUBJECT TO SECTION 2.3.7 OF THE OXFORD ZONING BYLAWS: WHERE A DISTRICT BOUNDARY DIVIDES ANY LOT OF RECORD EXISTING AT THE TIME SUCH BOUNDARY IS ADOPTED, THE REGULATIONS OF THE DISTRICT WHICH COMPRISES THE LARGEST PORTION OF THE LOT SHALL GOVERN THE ENTIRE LOT.

PARKING SUMMARY TABLE		
DIMENSIONAL REQUIREMENTS		
	REQUIRED	PROVIDED
MINIMUM PARKING SPACE SIZE (90°)	9'x19'	9'x19' (18'x9' IN GARAGE)*
MINIMUM PARKING SPACE SIZE (0°)	8'x20'	8'x20'
MINIMUM DRIVE AISLE WIDTH (2-WAY)	24'	24'
MINIMUM DRIVE AISLE WIDTH (1-WAY)	12'	20'
MINIMUM FRONT YARD SETBACK	(1)	> 120'
MINIMUM SIDE YARD SETBACK	(1)	< 5' *
MINIMUM REAR YARD SETBACK	(1)	> 5'
MINIMUM PARKING LOT OPEN SPACE	3%	> 3%

\* NON-CONFORMING

NOTES:

- THE ENTIRE FRONT SETBACK AREA, EXCEPT FOR DRIVEWAYS, SHALL BE LANDSCAPED AND THERE SHALL BE A LANDSCAPED STRIP AT LEAST FIVE (5) FEET IN WIDTH FROM OTHER PROPERTY LINES.

PARKING REQUIREMENTS	REQUIRED	PROVIDED
RESIDENTIAL USE (1.5 SPACE PER DWELLING UNIT)	63 SPACES	70 SPACES
(42 UNITS x 1.5 SPACES PER UNIT)		
ACCESSIBLE PARKING SPACES	3 SPACES (OF TOTAL)	4 SPACES (OF TOTAL)
ACCESSIBLE VAN SPACES	1 SPACES (OF TOTAL)	1 SPACES (OF TOTAL)
TOTAL: 63 SPACES		70 SPACES

- GENERAL NOTES:**
- EXISTING CONDITIONS INFORMATION ON THE PROPERTY FROM AN ON-THE-GROUND SURVEY PERFORMED BY JARVIS LAND SURVEY, INC. IN AUGUST 2020.
  - ADDITIONAL OFFSITE EXISTING CARTOGRAPHIC INFORMATION COMPILED FROM AVAILABLE GIS DATABASES, INCLUDING TOWN OF OXFORD ASSESSOR AND GIS DATALAYERS, MASSGIS DATA LAYERS, AND GOOGLE AND BING MAP IMAGES.
  - ADDITIONAL OFFSITE TOPOGRAPHIC INFORMATION COMPILED FROM 2013-2014 USGS LIDAR POST-SANDY ELEVATION (POINT) DATA AVAILABLE VIA NOAA DATA ACCESS VIEWER.
  - NO PORTION OF THE PROPERTY IS WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM 25027C0813E EFFECTIVE 7/4/2011.
  - THE PROPERTY DOES NOT CONTAIN WETLAND RESOURCES PER REPORT BY NORTHEAST ECOLOGICAL SERVICES, DATED SEPTEMBER 30, 2019.

**PLAN REFERENCES:**

PLAN BOOK 441 PLAN 55  
PLAN BOOK 569 PLAN 9 (LOCUS)  
PLAN BOOK 630 PLAN 61  
PLAN BOOK 652 PLAN 76

**DEED REFERENCES:**

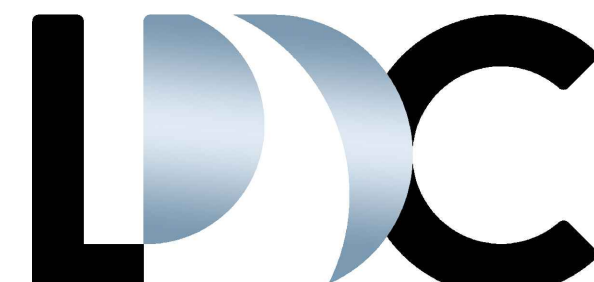
DEED BOOK 13699 PAGE 125

**ASSESSORS MAP REFERENCES:**

MAP 17, PARCEL 7.4

**ZONING CLASSIFICATION:**

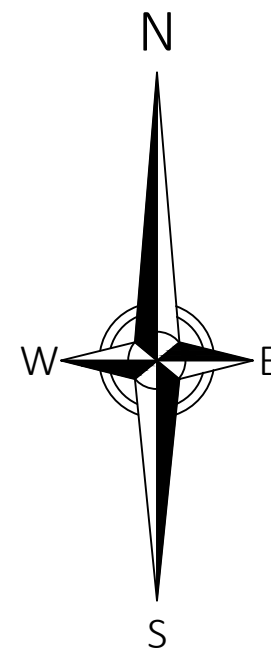
R-2, GB, AND R-3



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Project Owner:  
**Ansari Builders**  
6 Edgewood Road  
Westborough, MA

Project Applicant:  
**Ansari Builders**  
6 Edgewood Road  
Westborough, MA

Project Title:  
**Zain Place**  
580 Main Street  
North Oxford, MA  
(Worcester County)

Sheet Title:  
**LAYOUT & MATERIALS PLAN**

Comprehensive Permit



9	7/26/2023	ADDITIONAL INFORMATION
8	4/12/2023	FOR DHCD
7	3/20/2023	BUILDING AND SITE REDESIGN
6	1/28/2021	NOTES AND PARKING LAYOUT
5	1/18/2021	NOTE AND DIMENSIONS
4	12/9/2020	DESIGN DEVELOPMENT
3	12/4/2020	DESIGN DEVELOPMENT
2	11/10/2020	DESIGN DEVELOPMENT
1	6/19/2020	NOTES

No: Date: Revision | Issue:

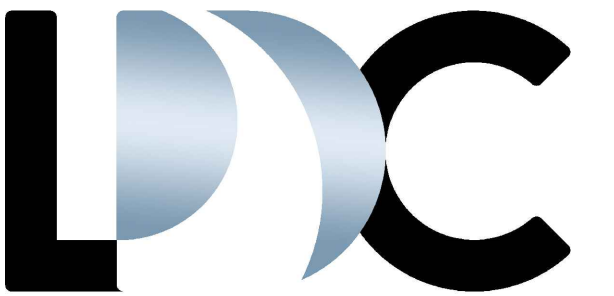
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Date: 10/02/2020 Project No.: 20-0017

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Scale: 1" = 30'

Sheet No.:  
**C-101**

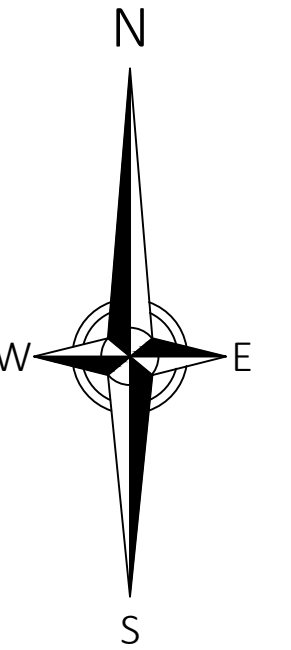




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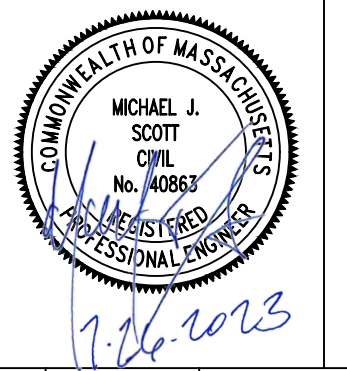
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Project Title:  
**Zain Place**  
580 Main Street  
North Oxford, MA  
(Worcester County)

Sheet Title:  
**GRADING, DRAINAGE & UTILITY PLAN**

Comprehensive Permit



9	7/26/2023	ADDITIONAL DETAIL
8	4/12/2023	FOR DHCD
7	3/20/2023	BUILDING AND SITE REDESIGN
6	1/28/2021	NOTES AND PARKING LAYOUT
5	1/18/2021	NOTE AND DIMENSIONS
4	12/9/2020	DESIGN DEVELOPMENT
3	12/4/2020	DESIGN DEVELOPMENT
2	11/10/2020	DESIGN DEVELOPMENT
1	6/19/2020	NOTES

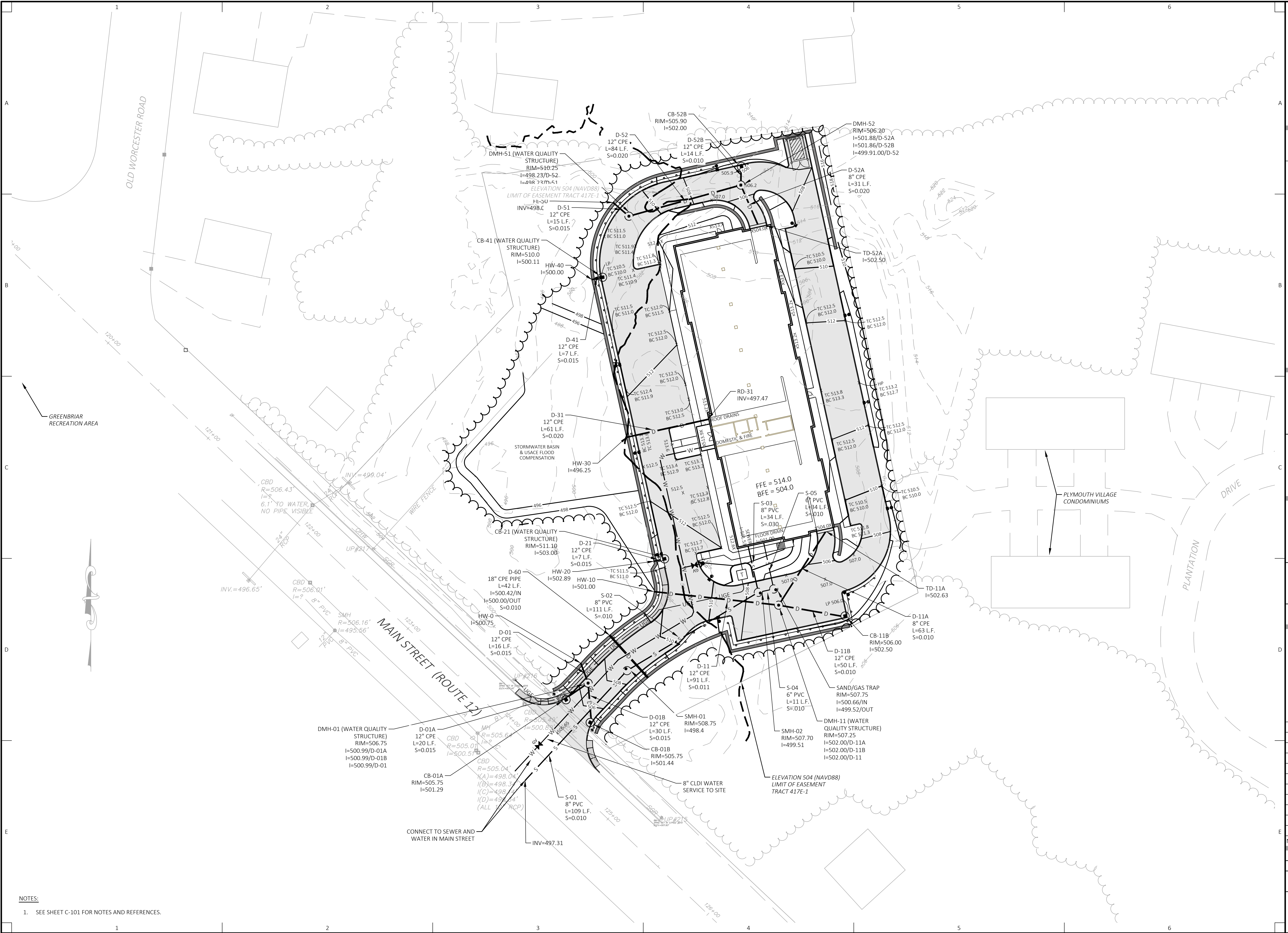
No: Date: Revision | Issue:

Drawn By: Checked By: MJS  
Date: 10/02/2020 Project No.: 20-0017

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Scale: 1" = 30'

Sheet No.:

**C-201**



NOTES:  
1. SEE SHEET C-101 FOR NOTES AND REFERENCES.



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Zain Place  
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(Worcester County)

## DETAILS

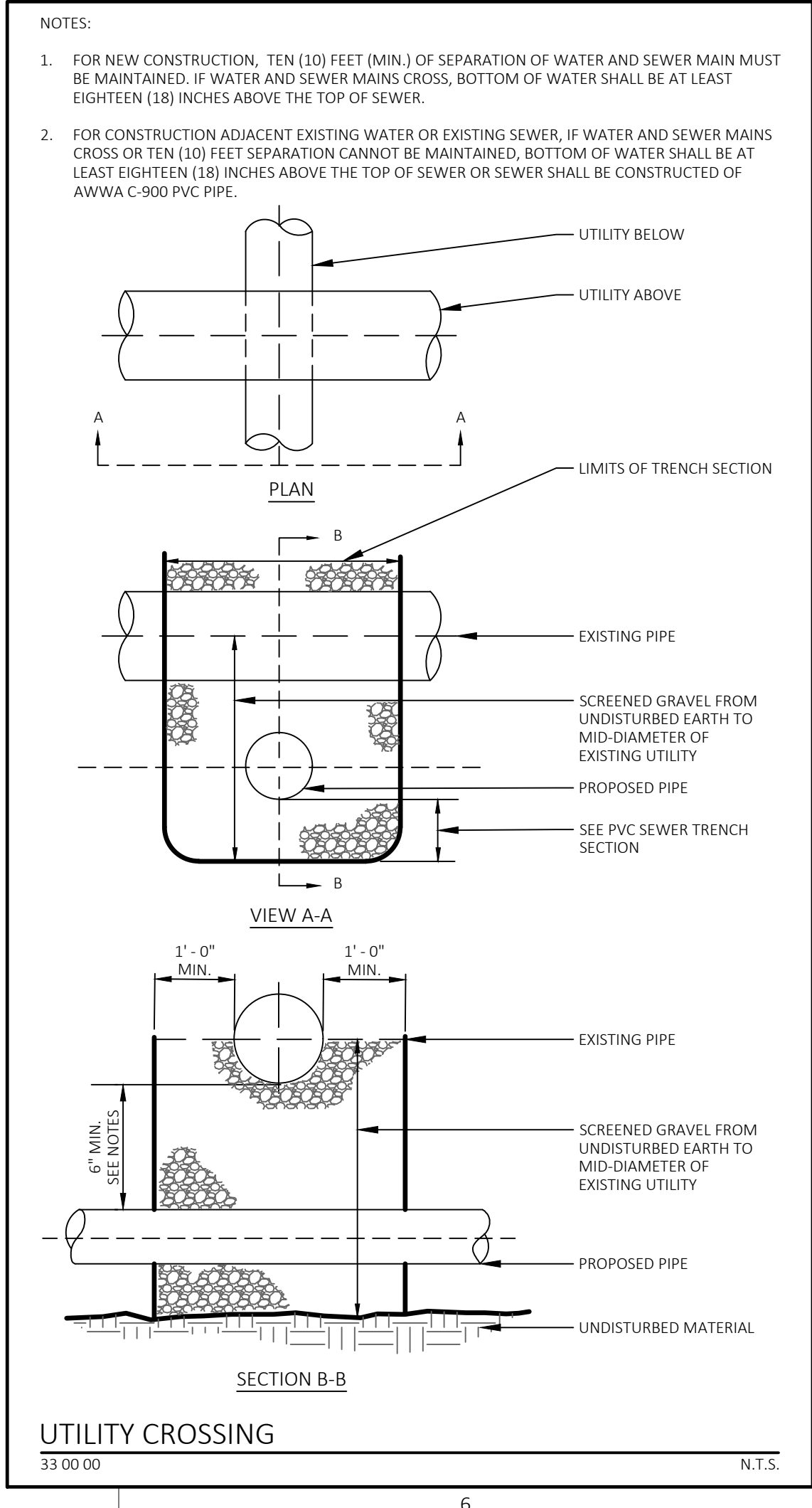
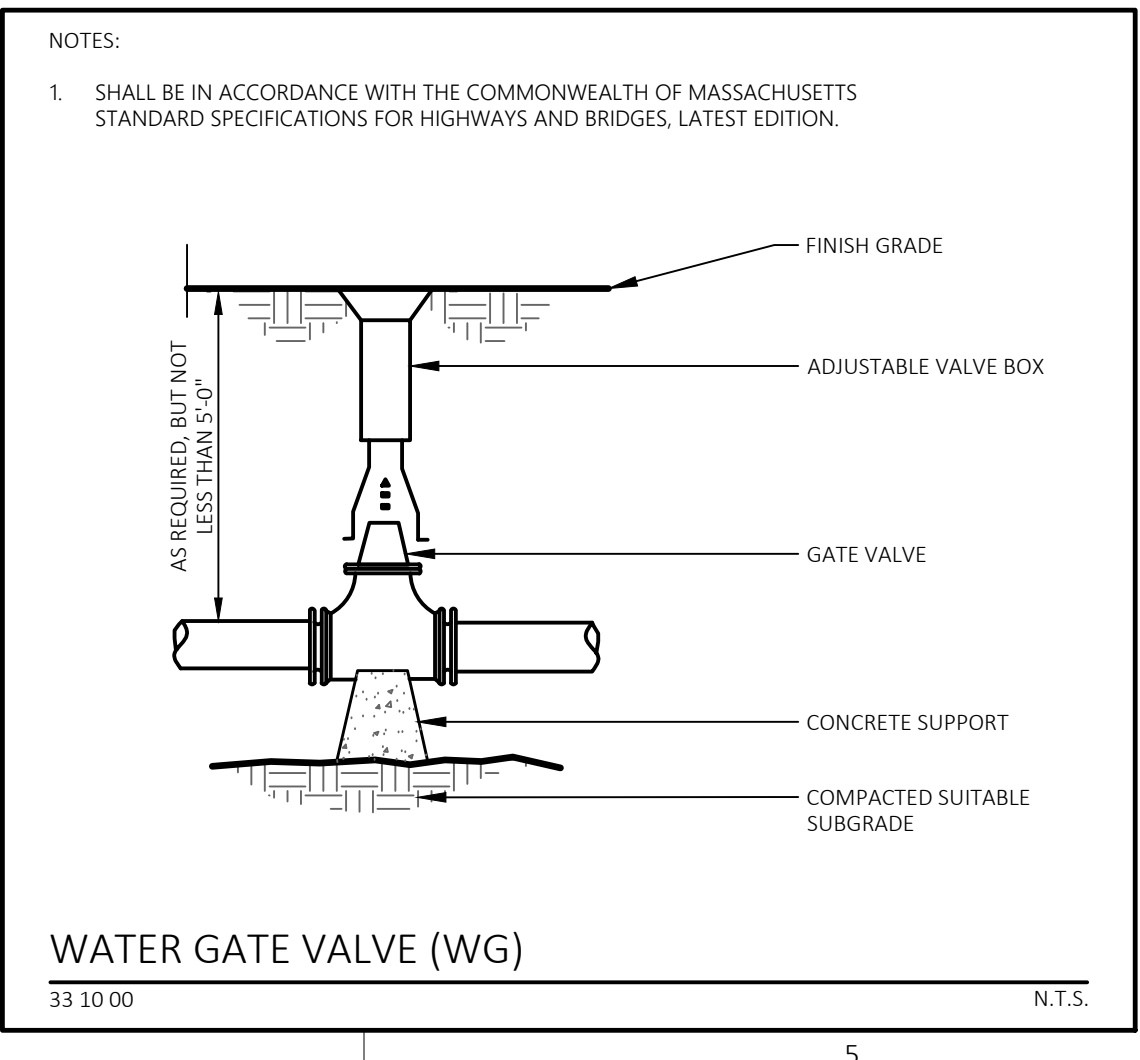
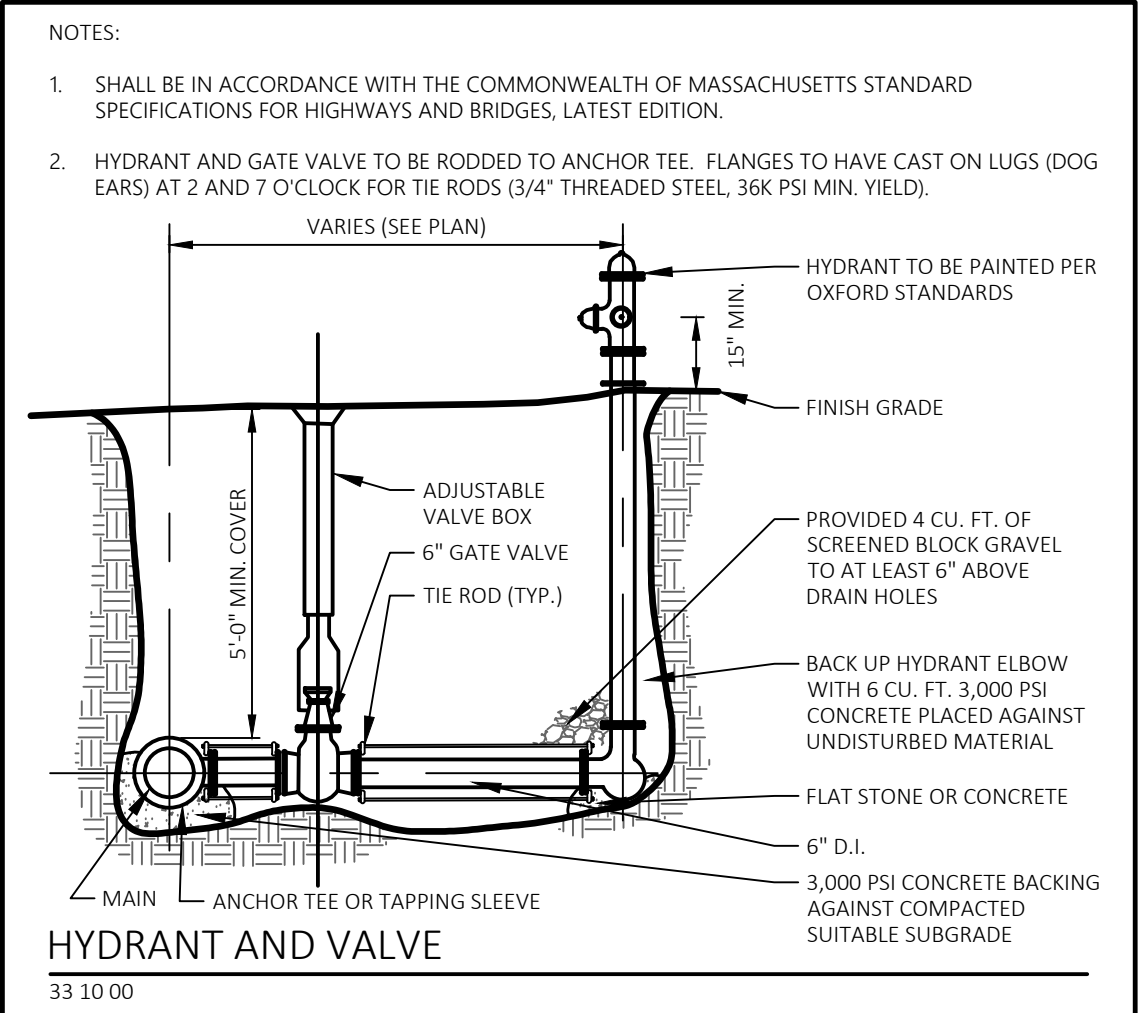
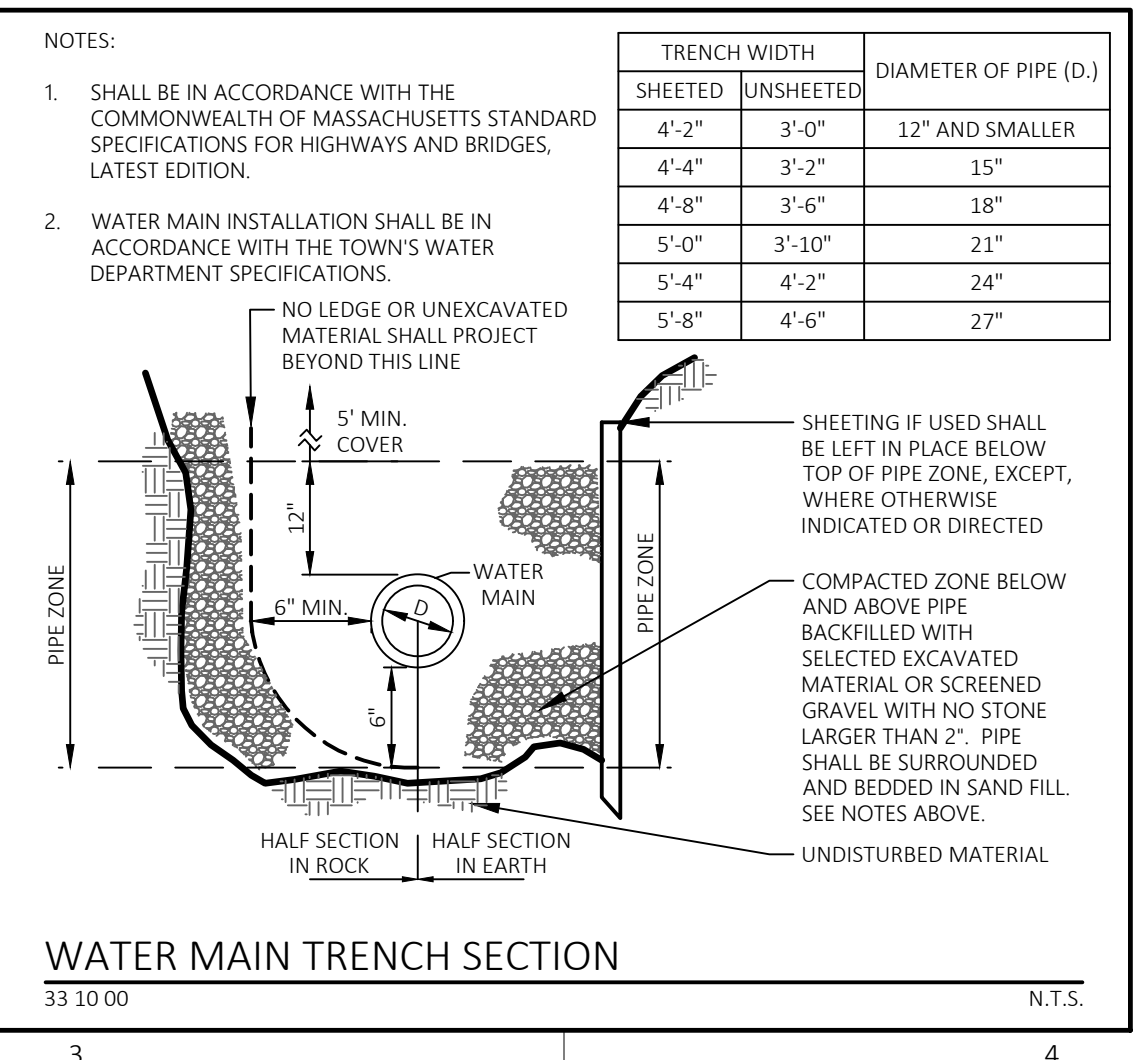
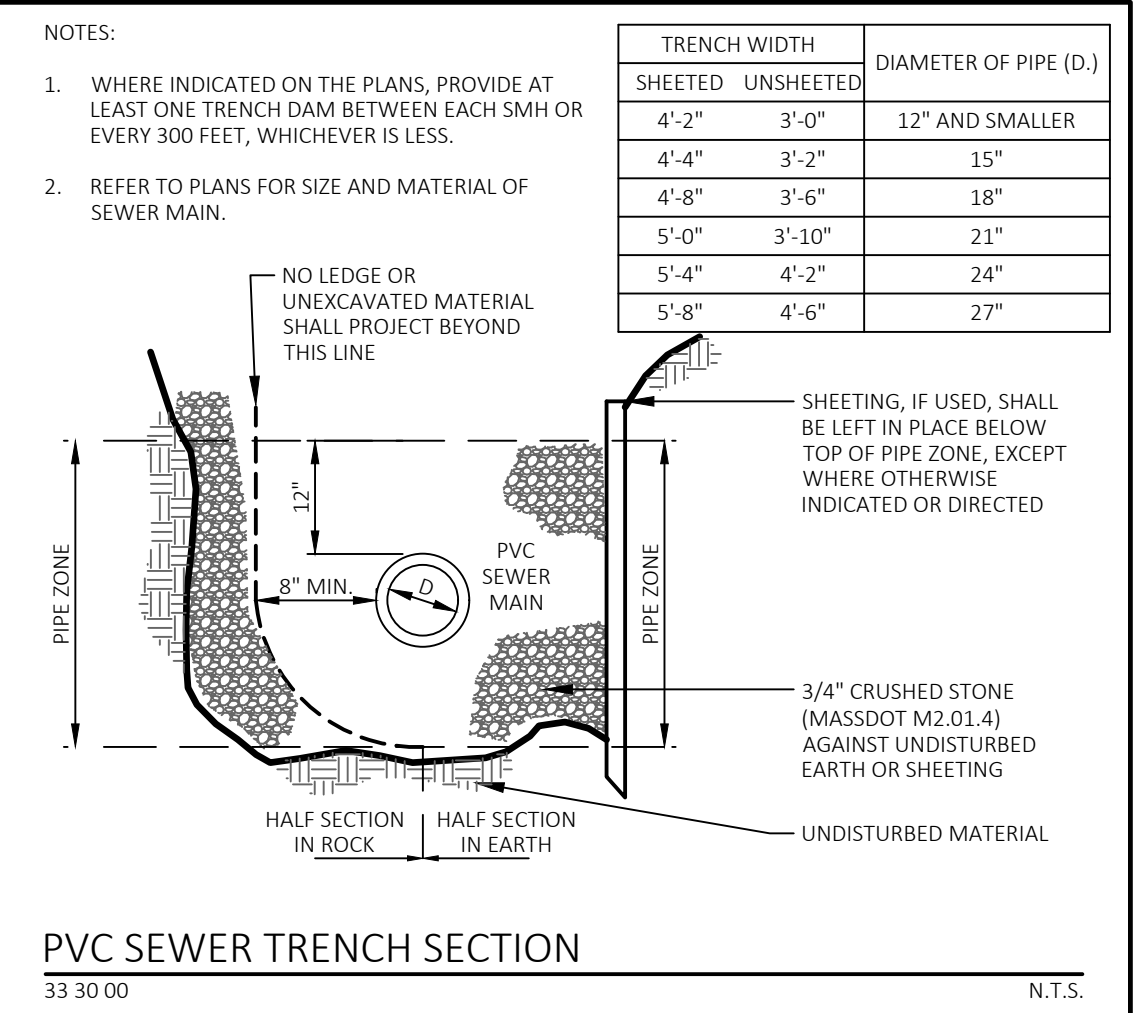
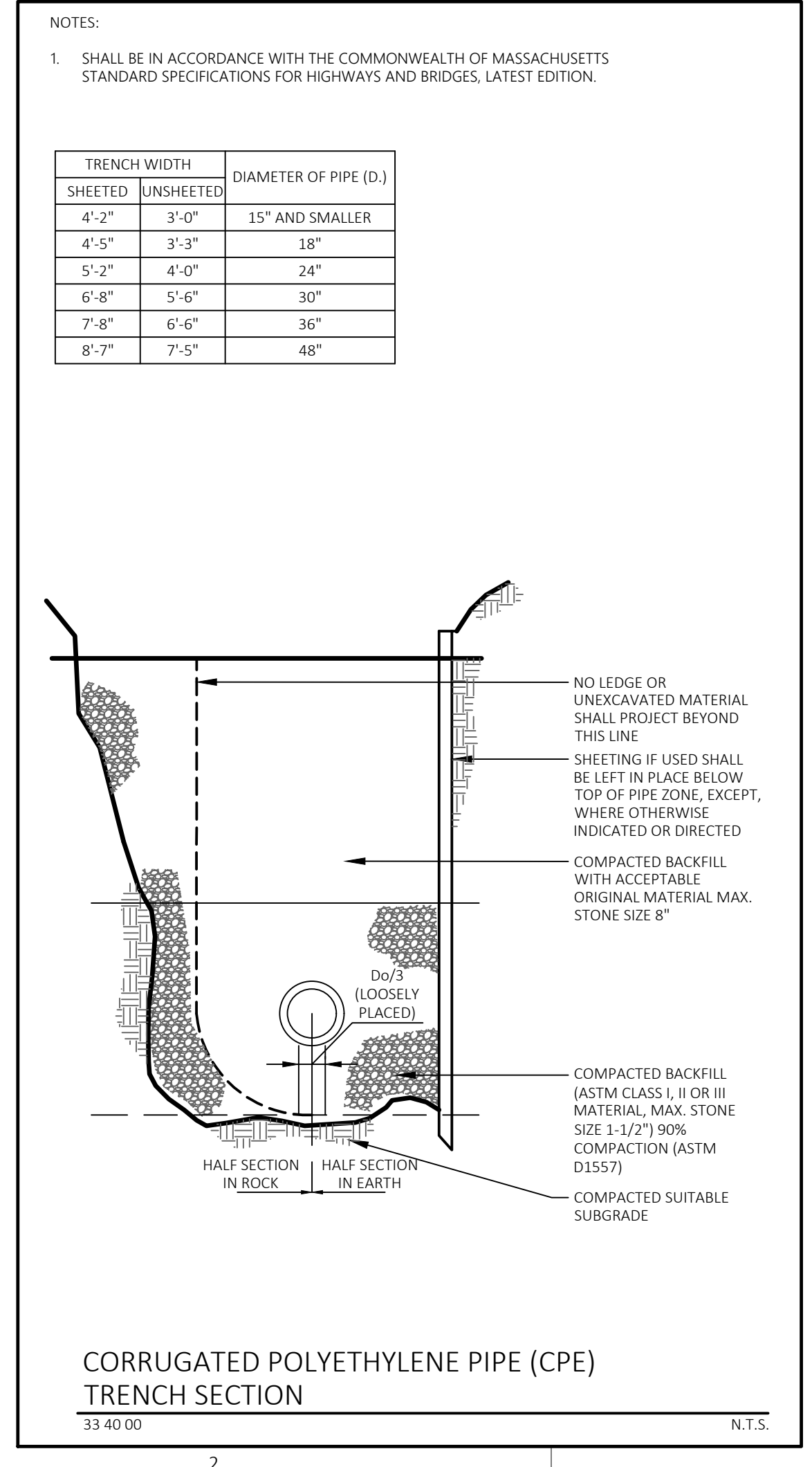
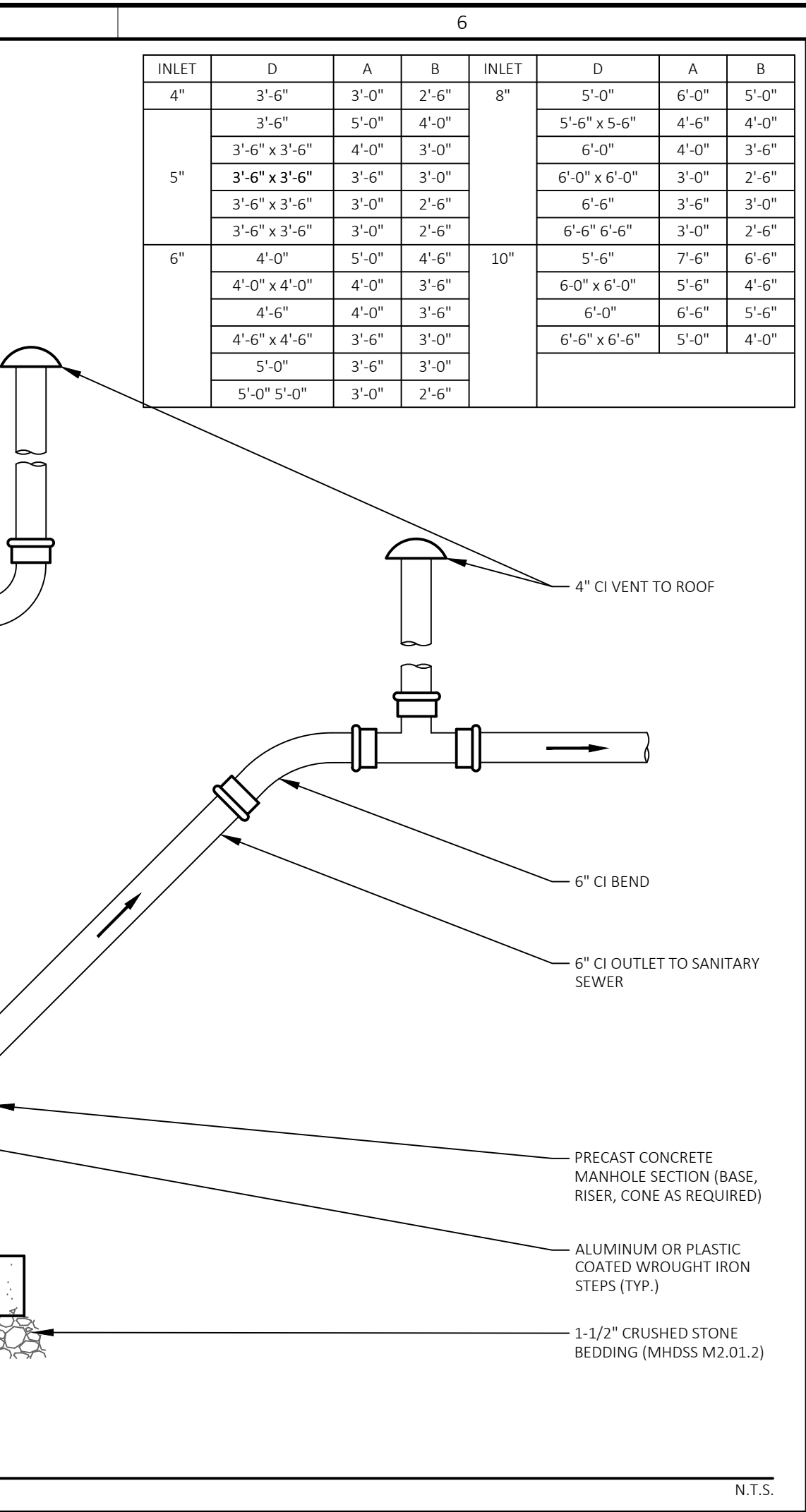
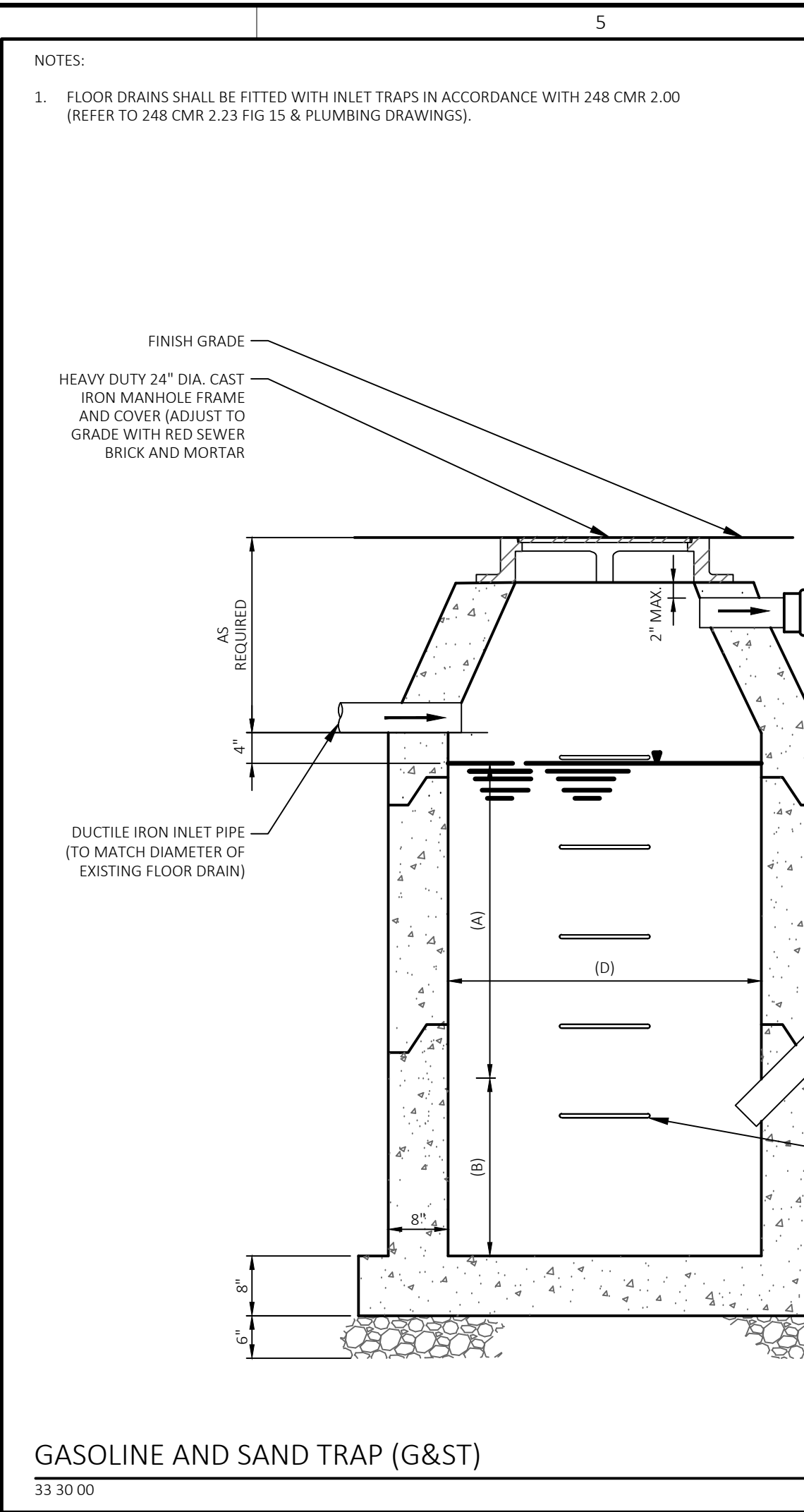
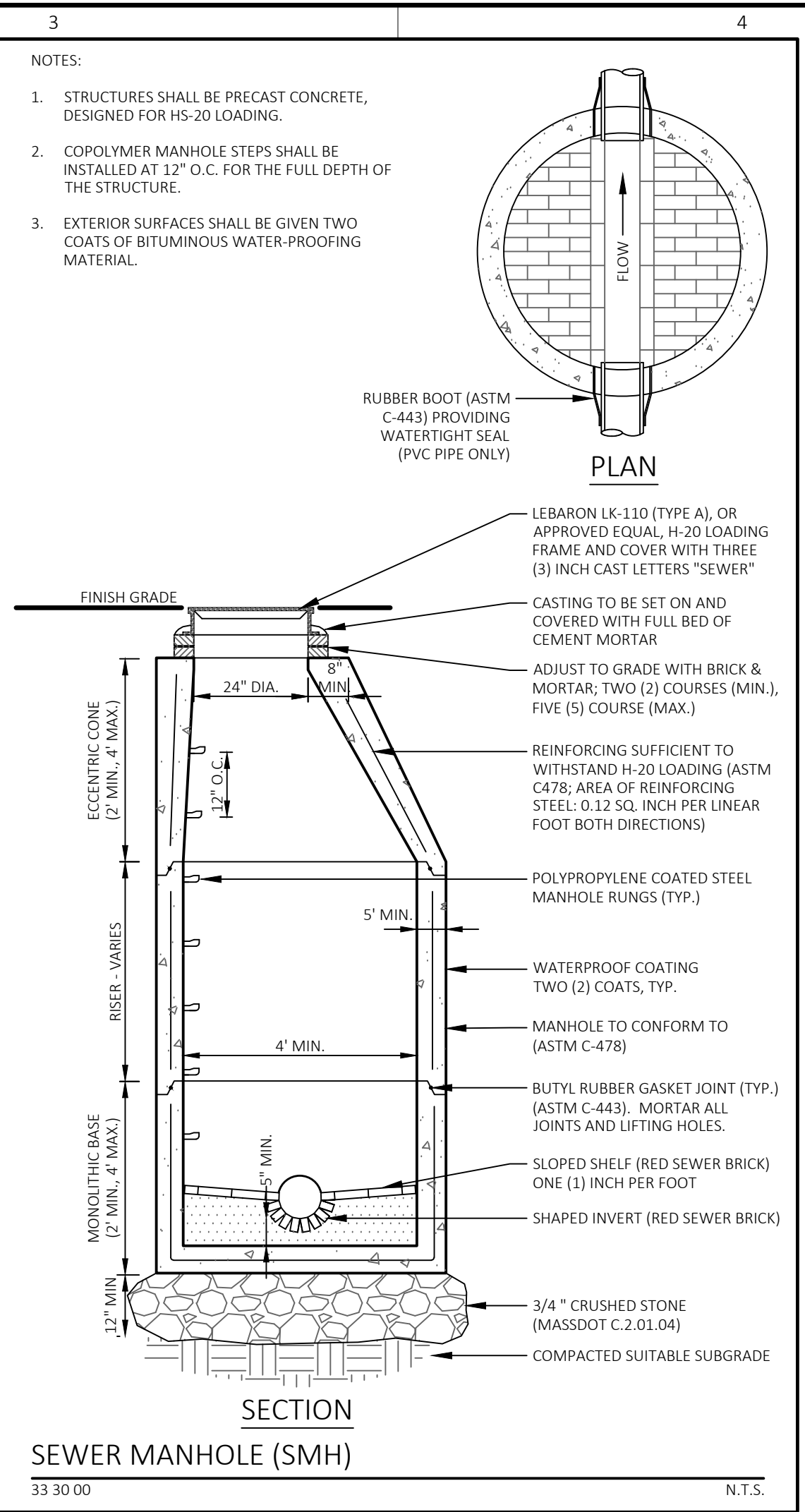
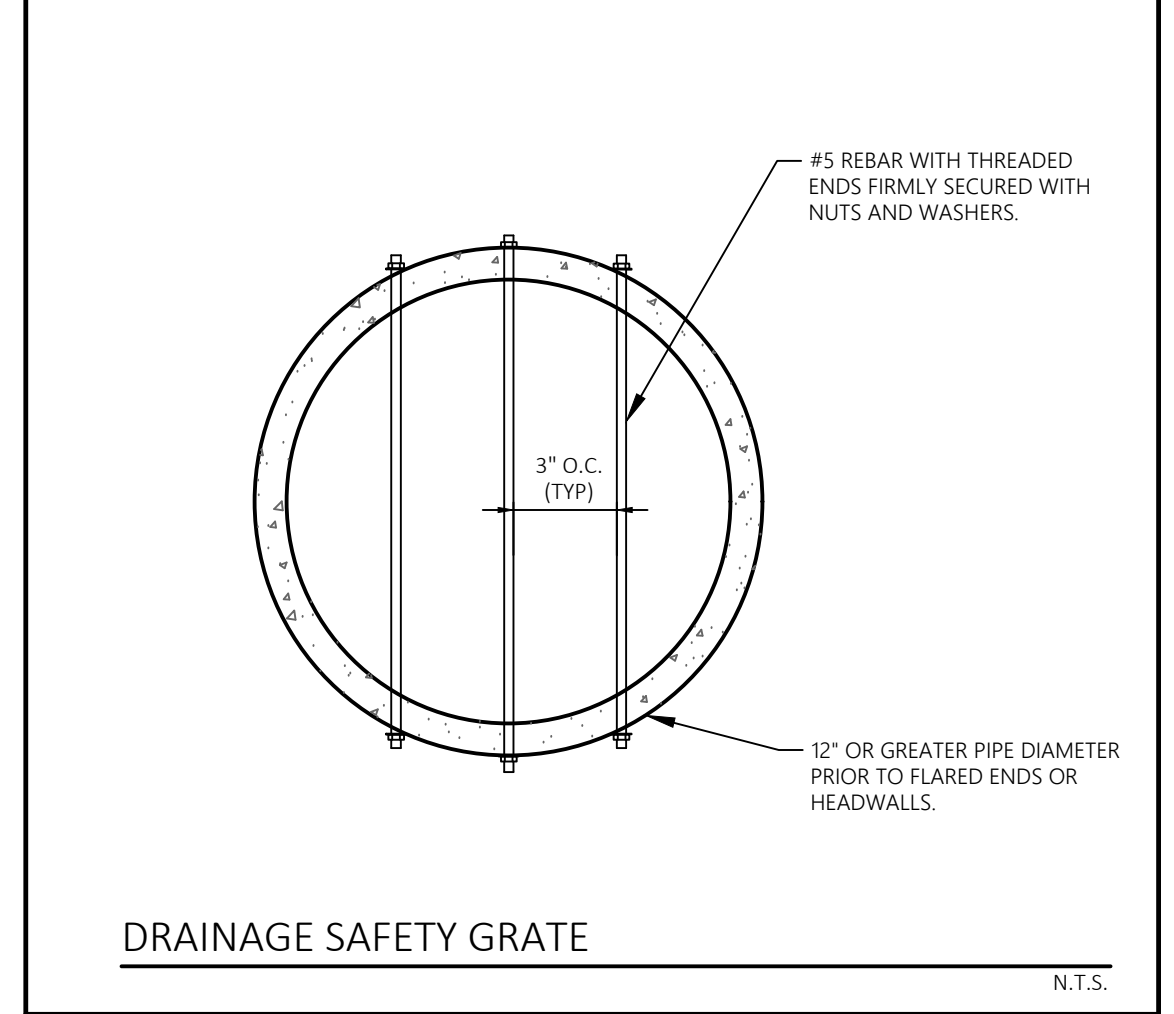
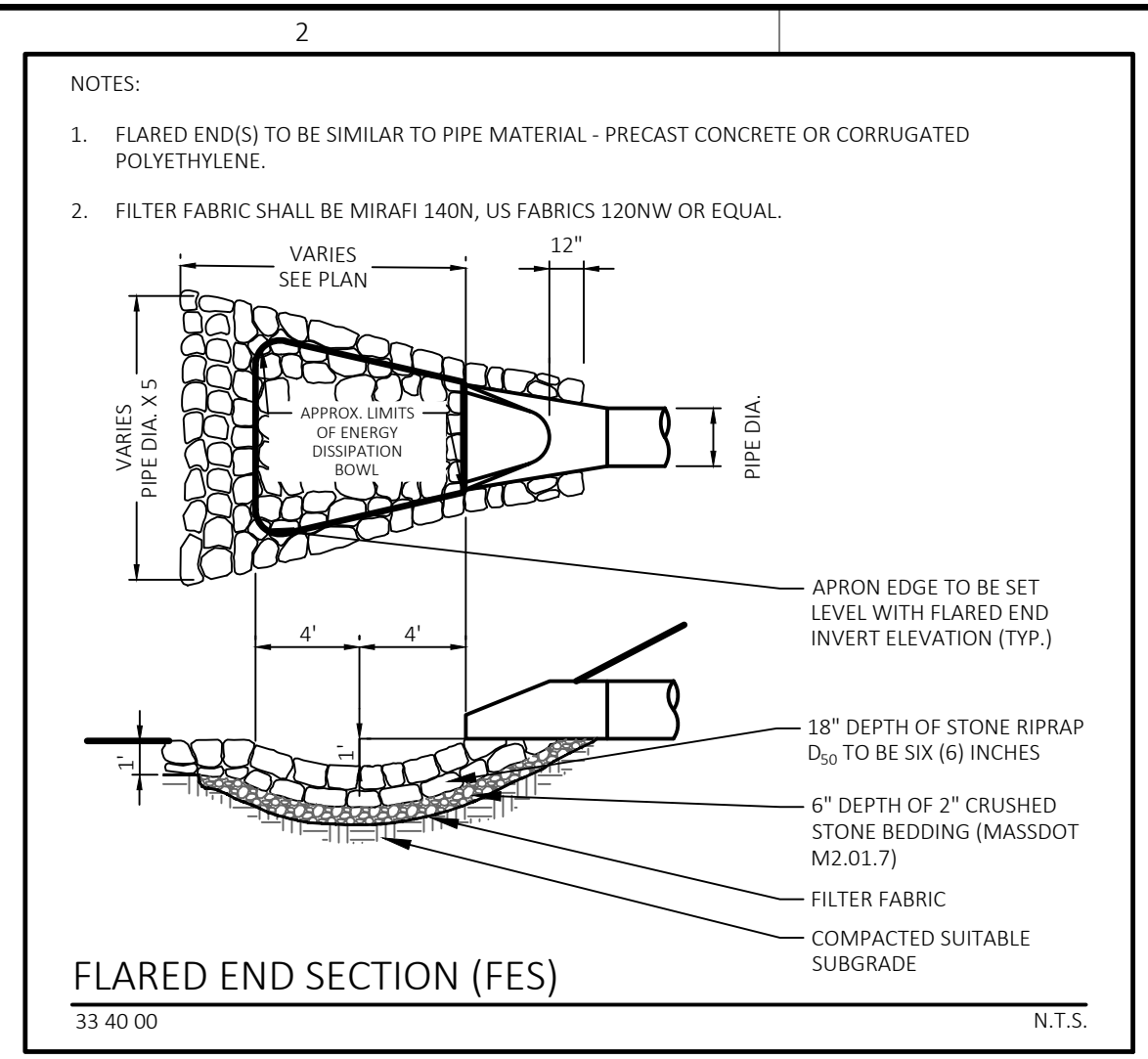
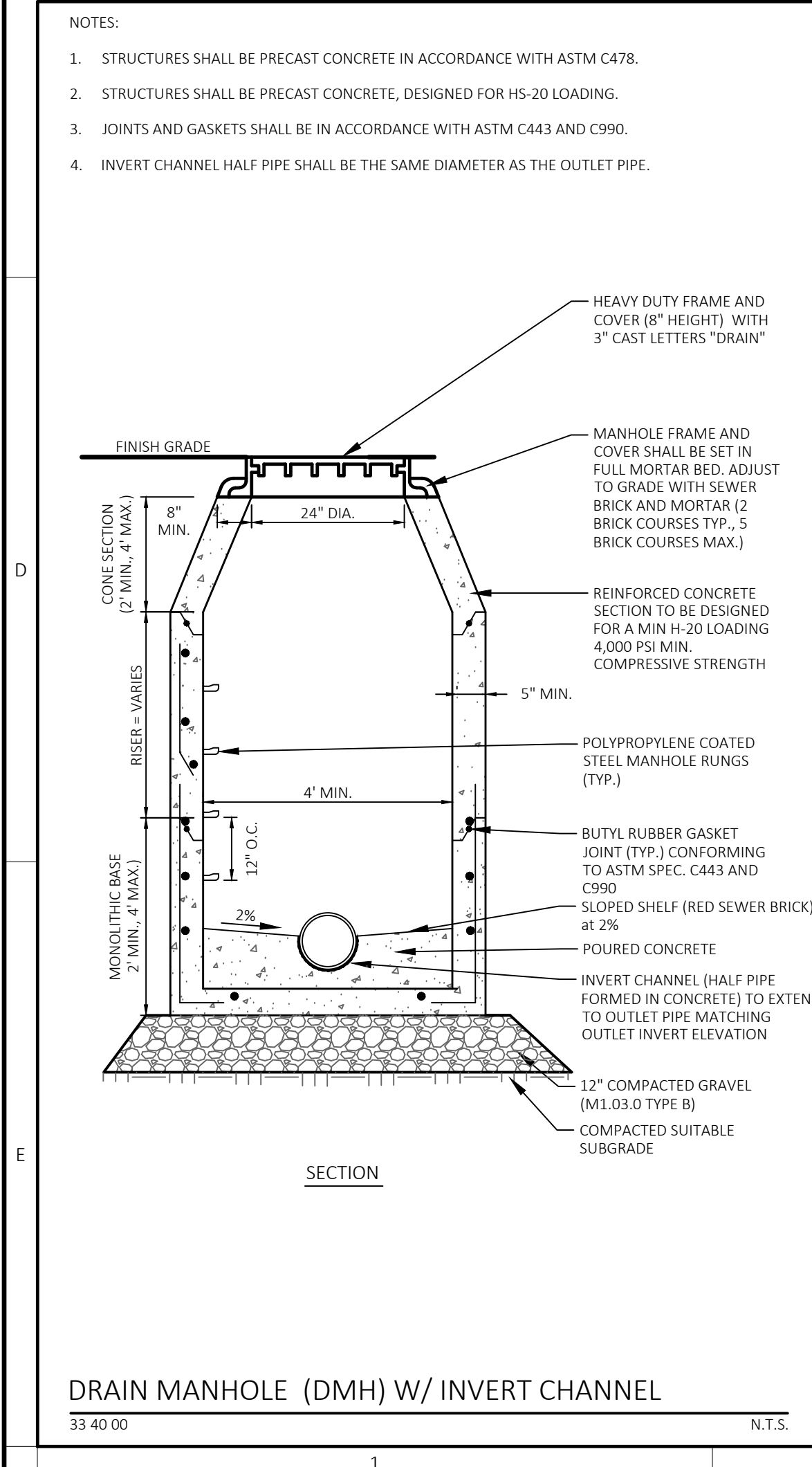
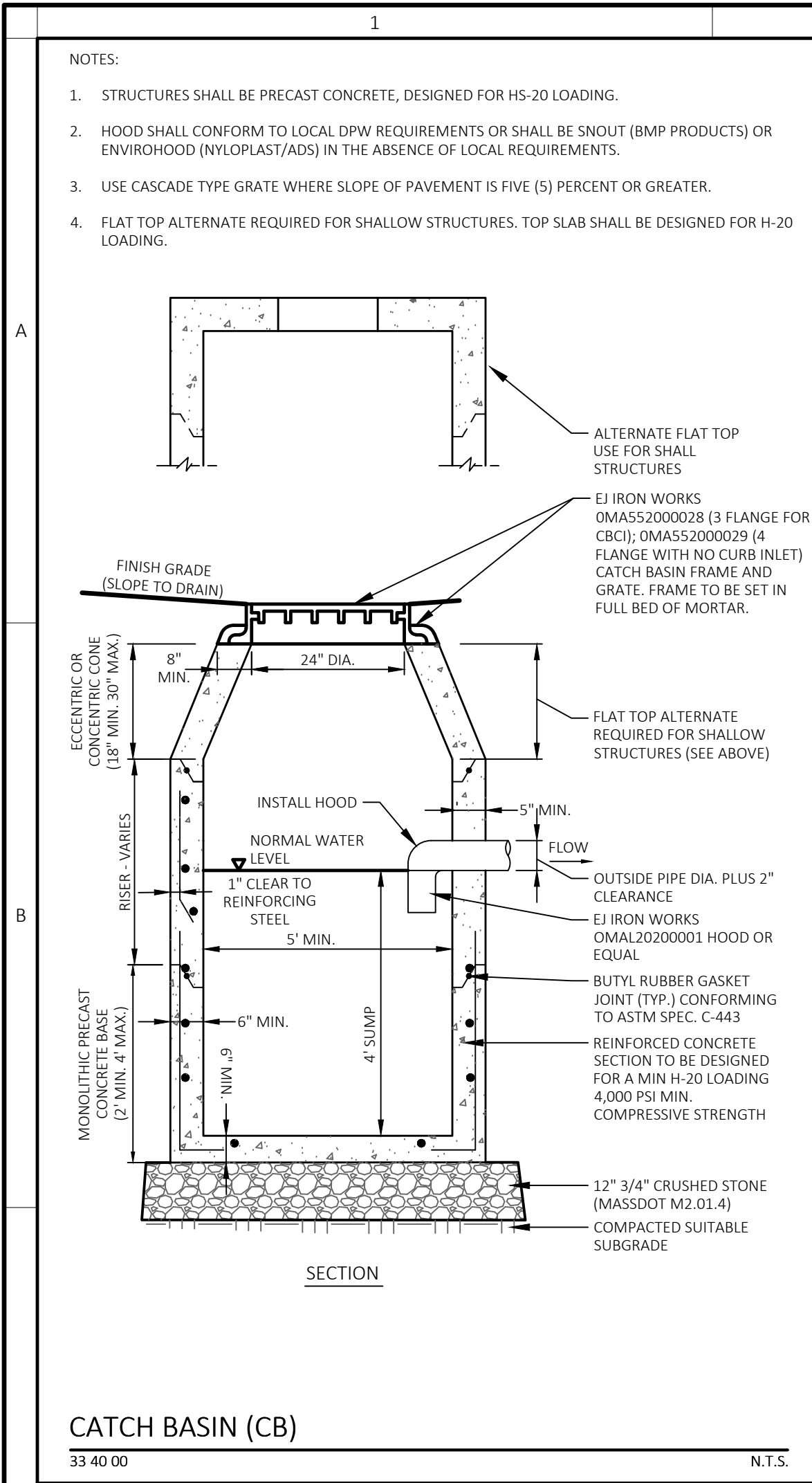
### EROSION CONTROL

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- SEE SHEET C-001 FOR NOTES LEGEND AND ABBREVIATIONS.

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Project Title:

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580 Main Street  
North Oxford, MA (Worcester County)

Sheet Title:

**DETAILS  
DRAINAGE & UTILITIES**

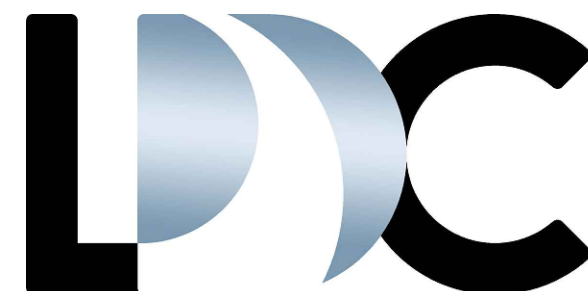
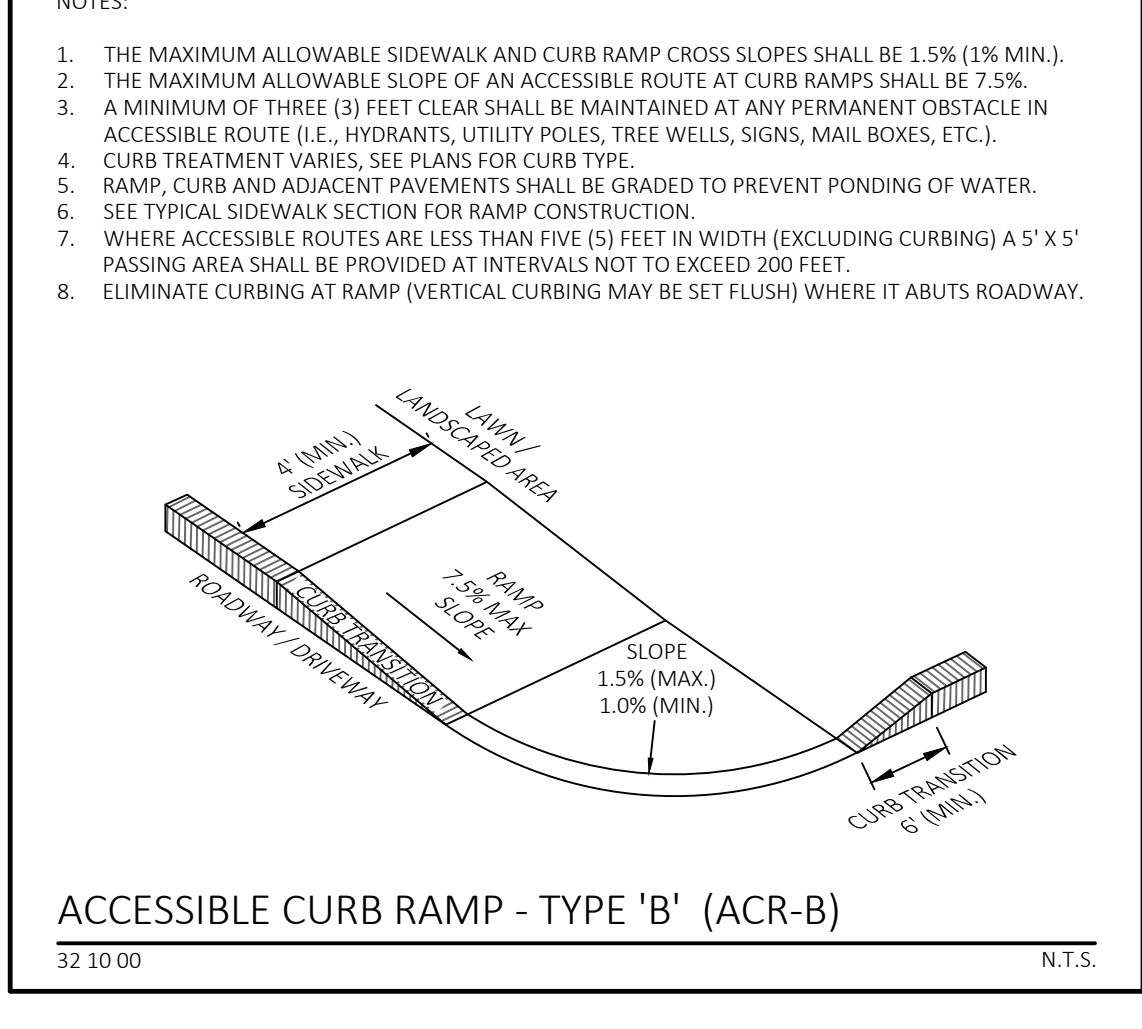
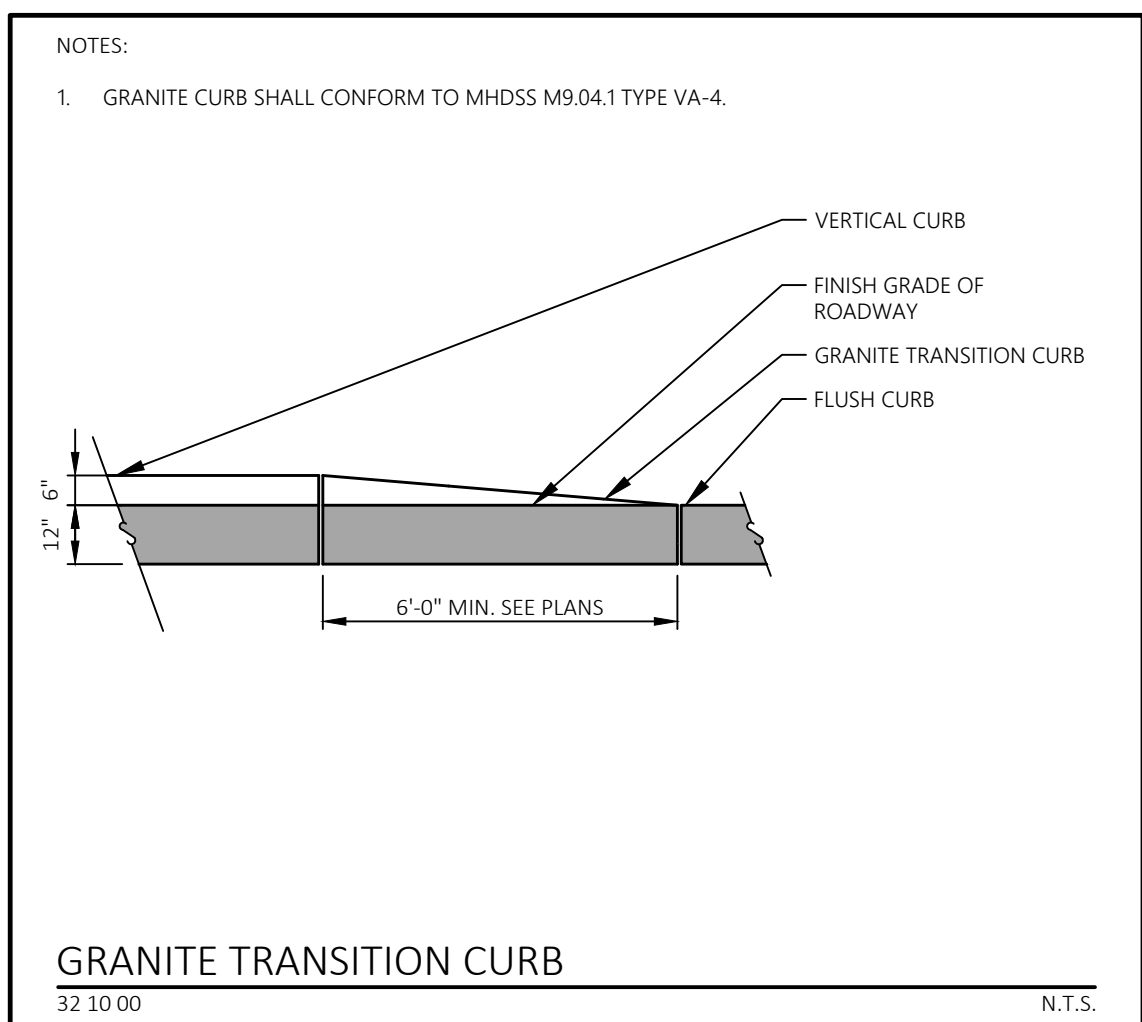
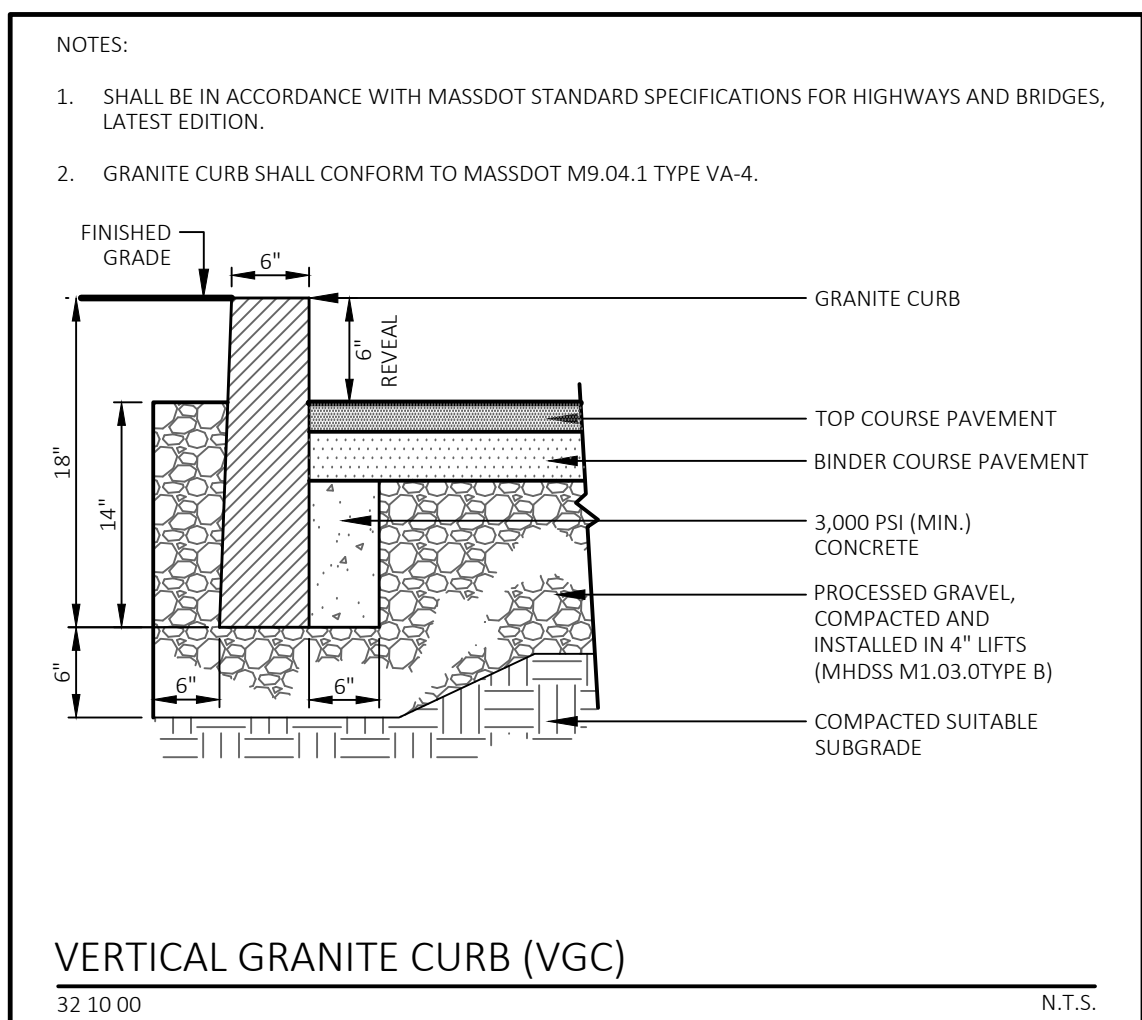
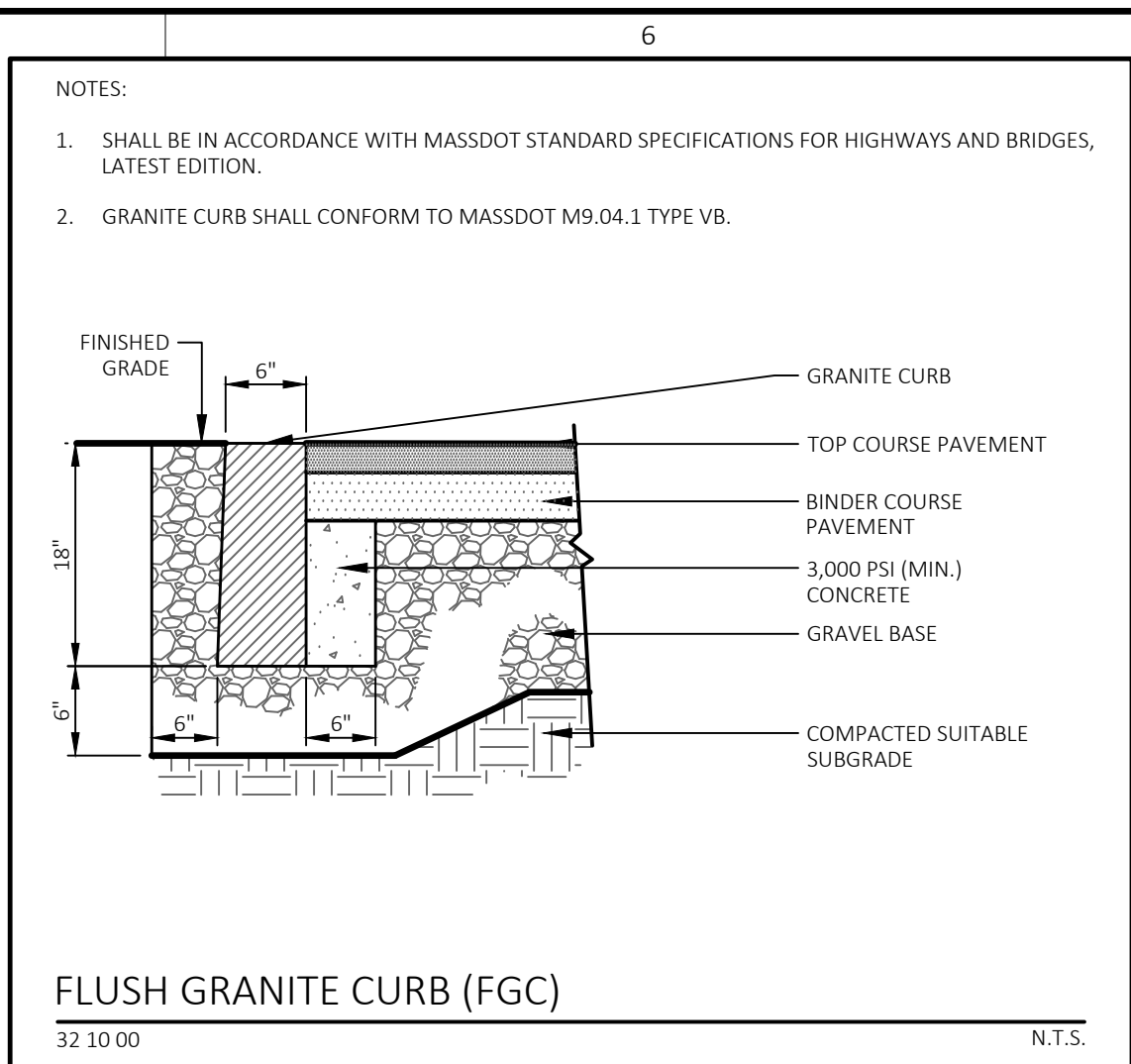
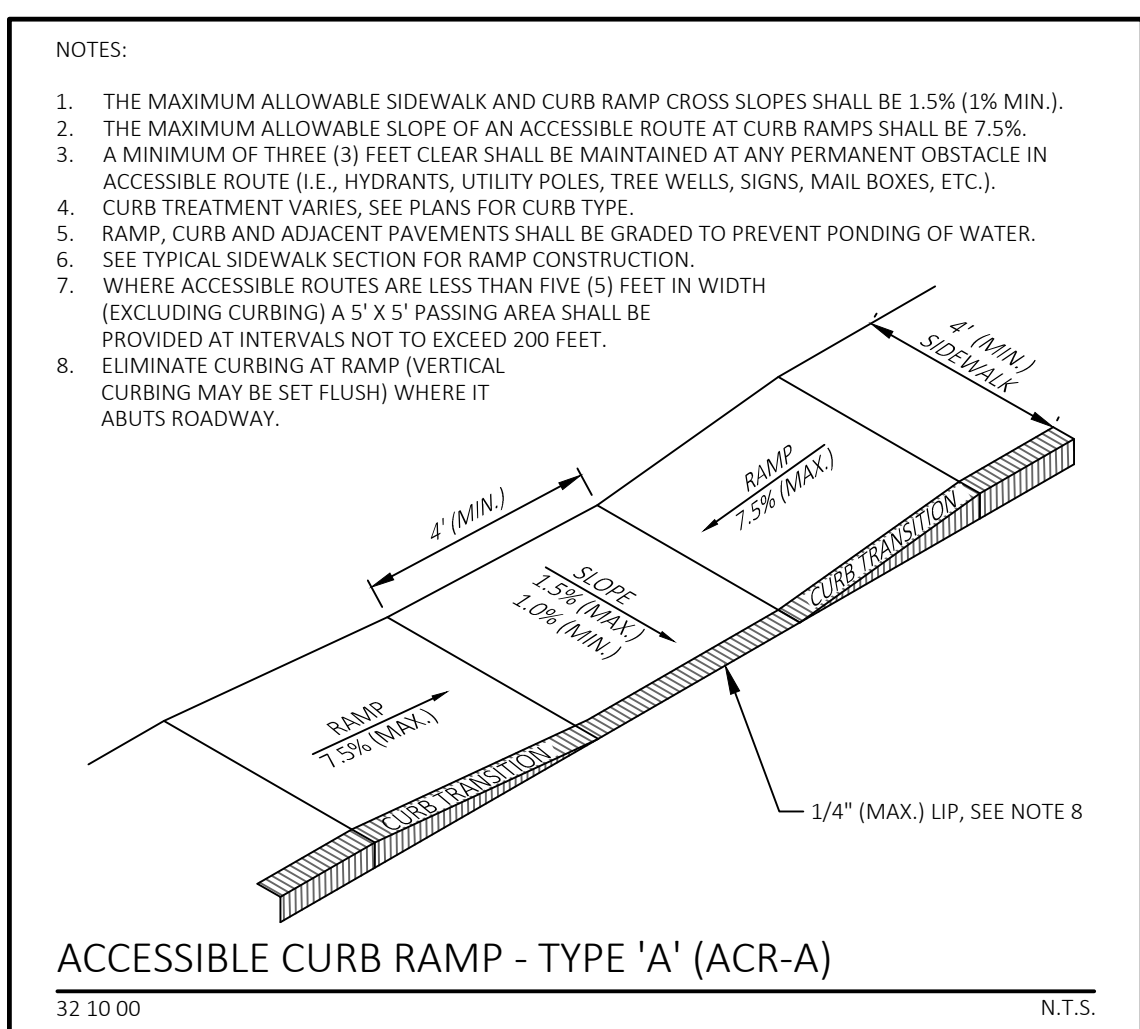
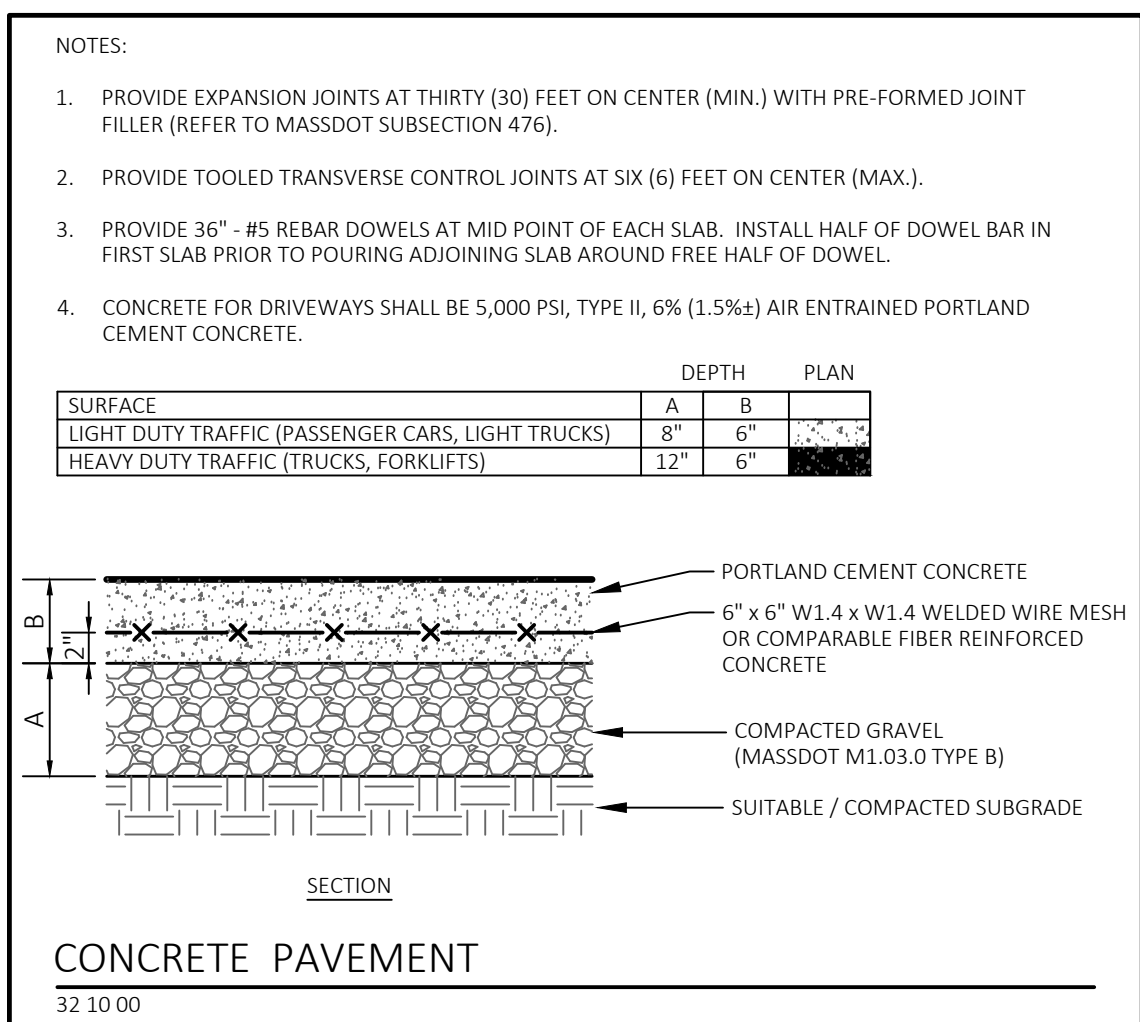
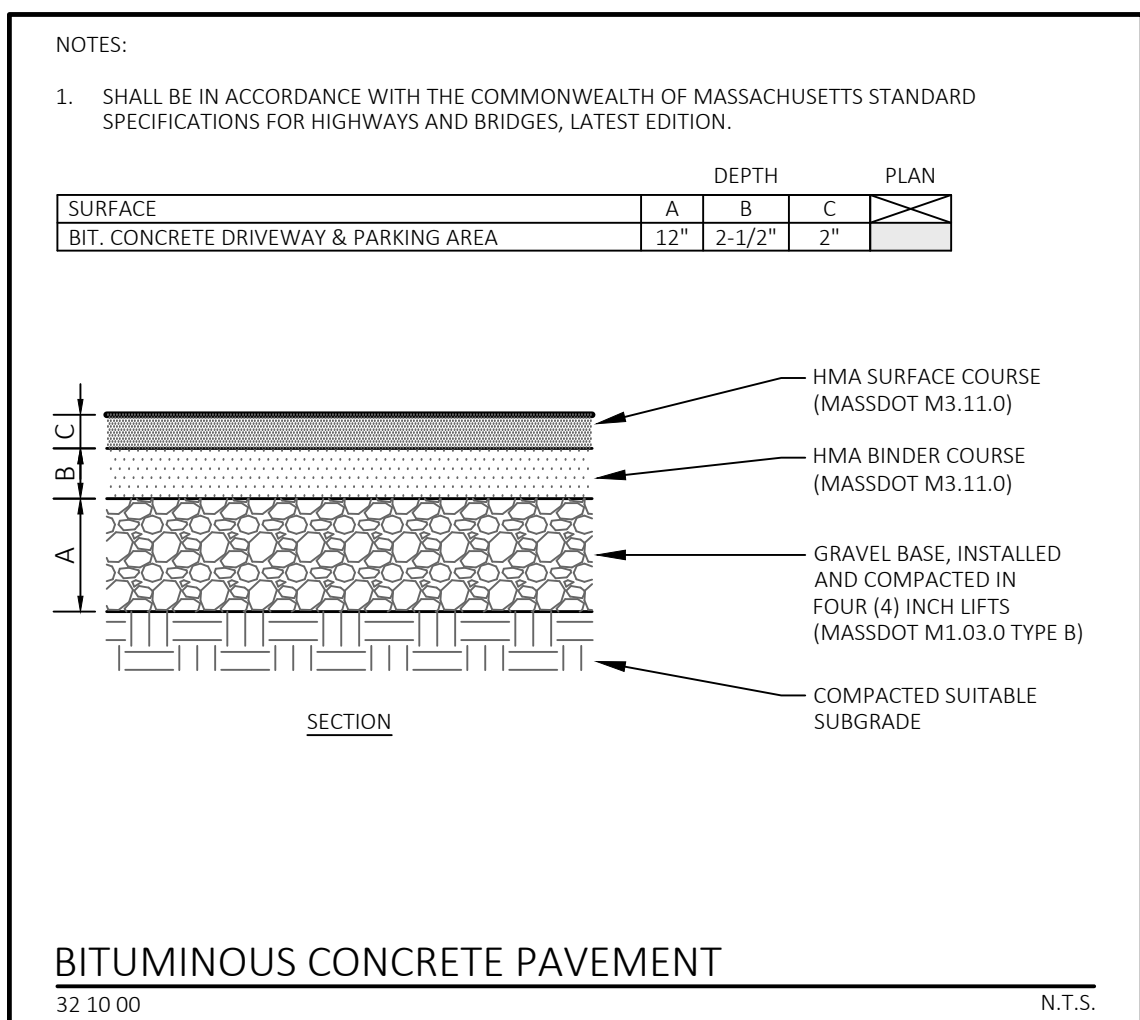
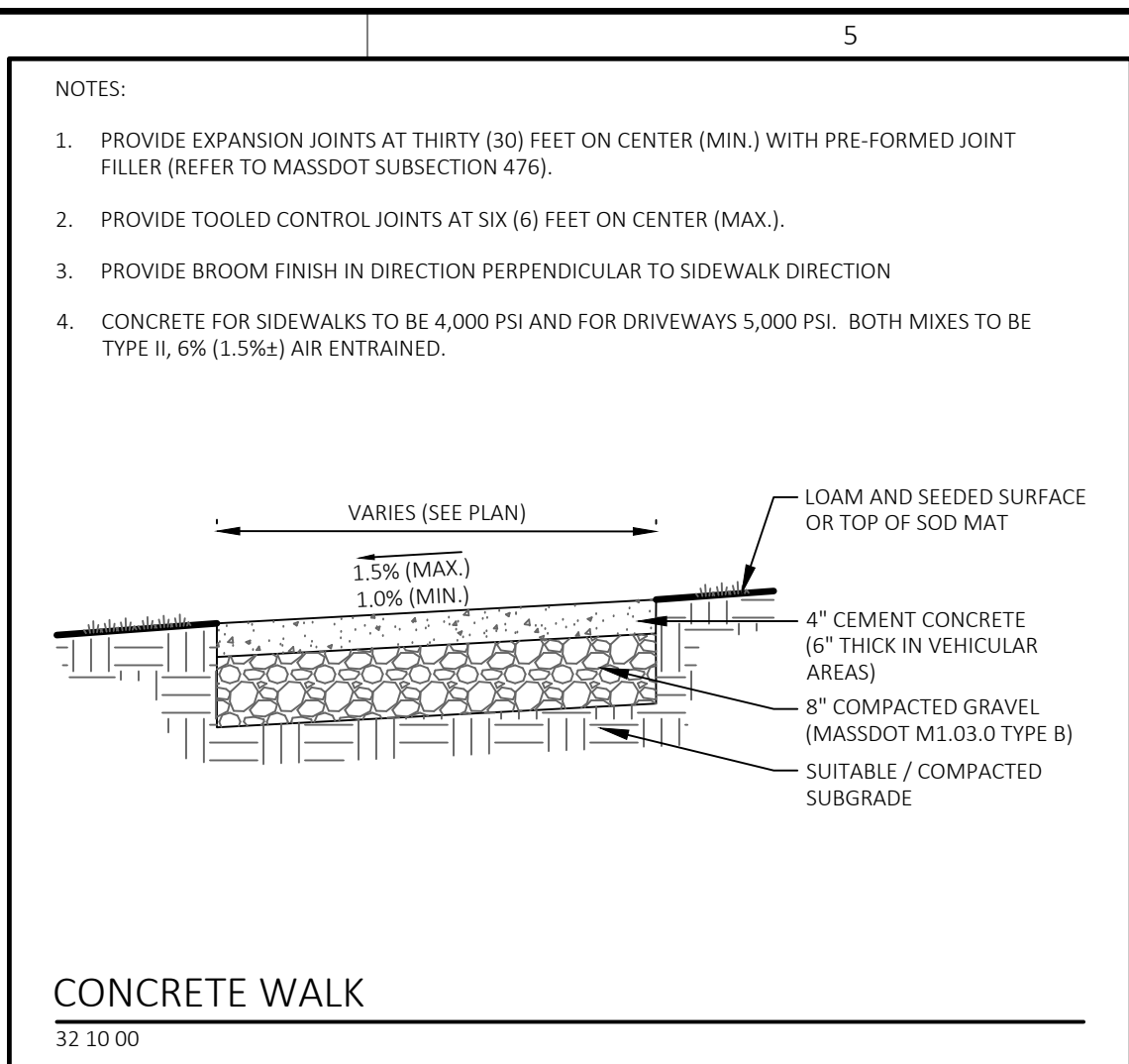
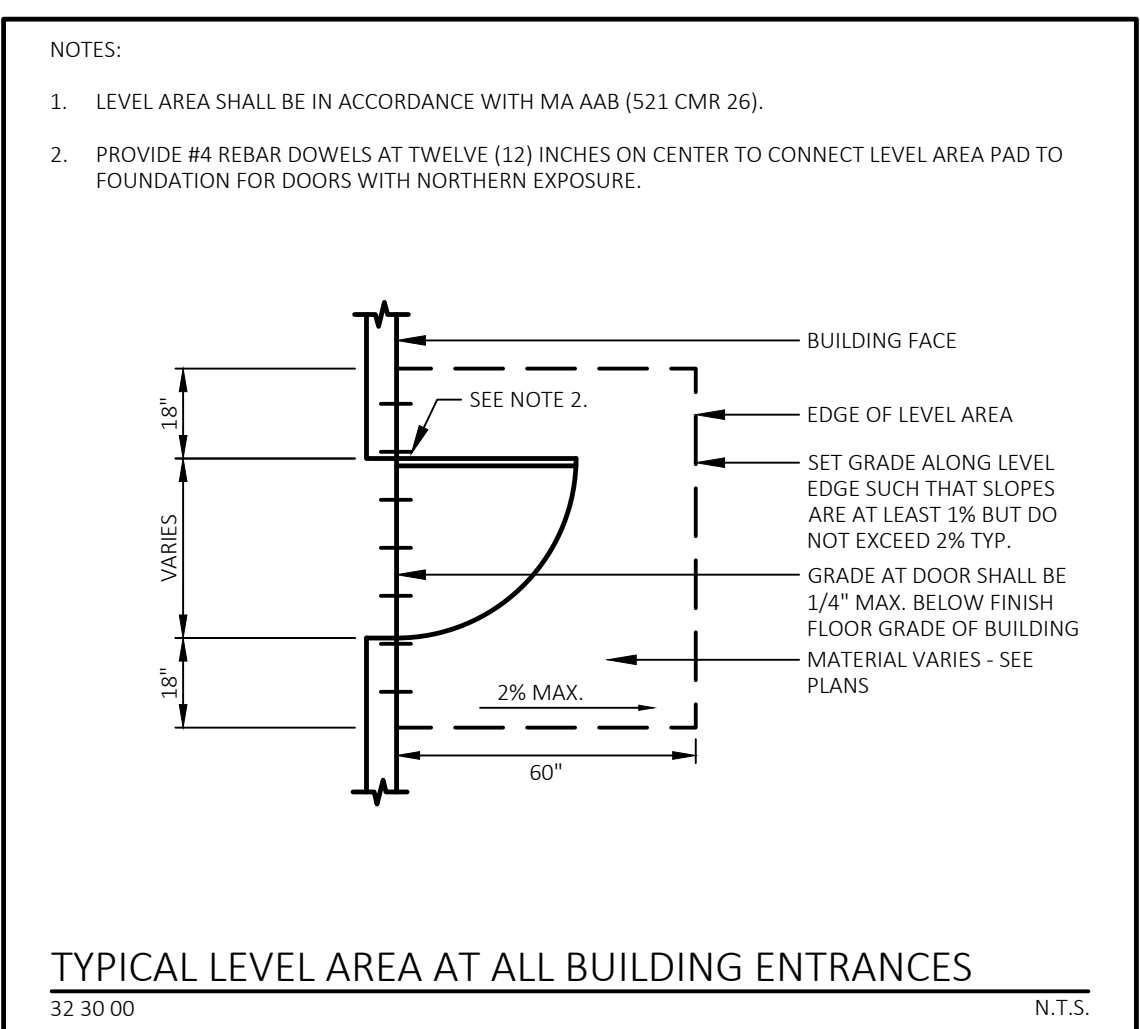
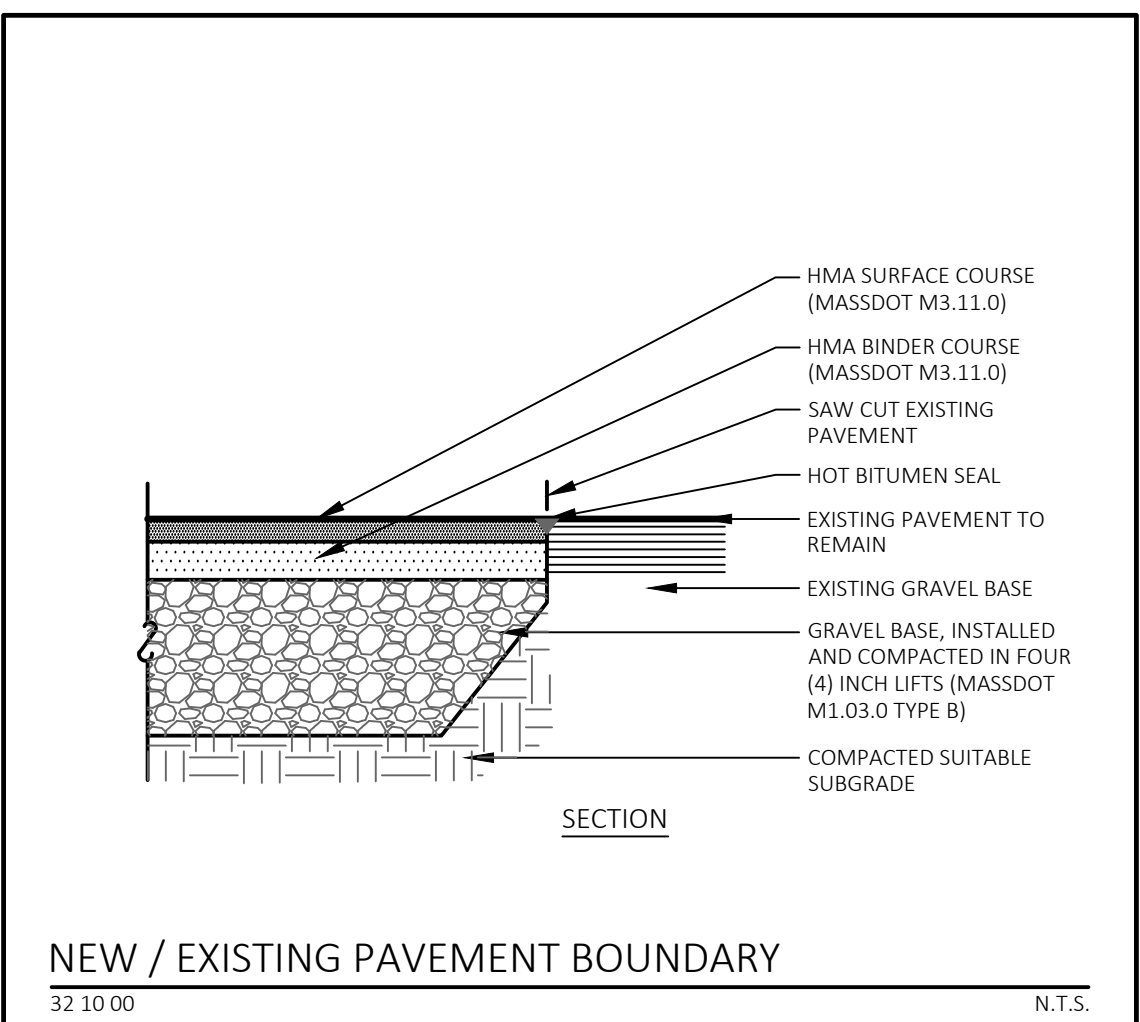
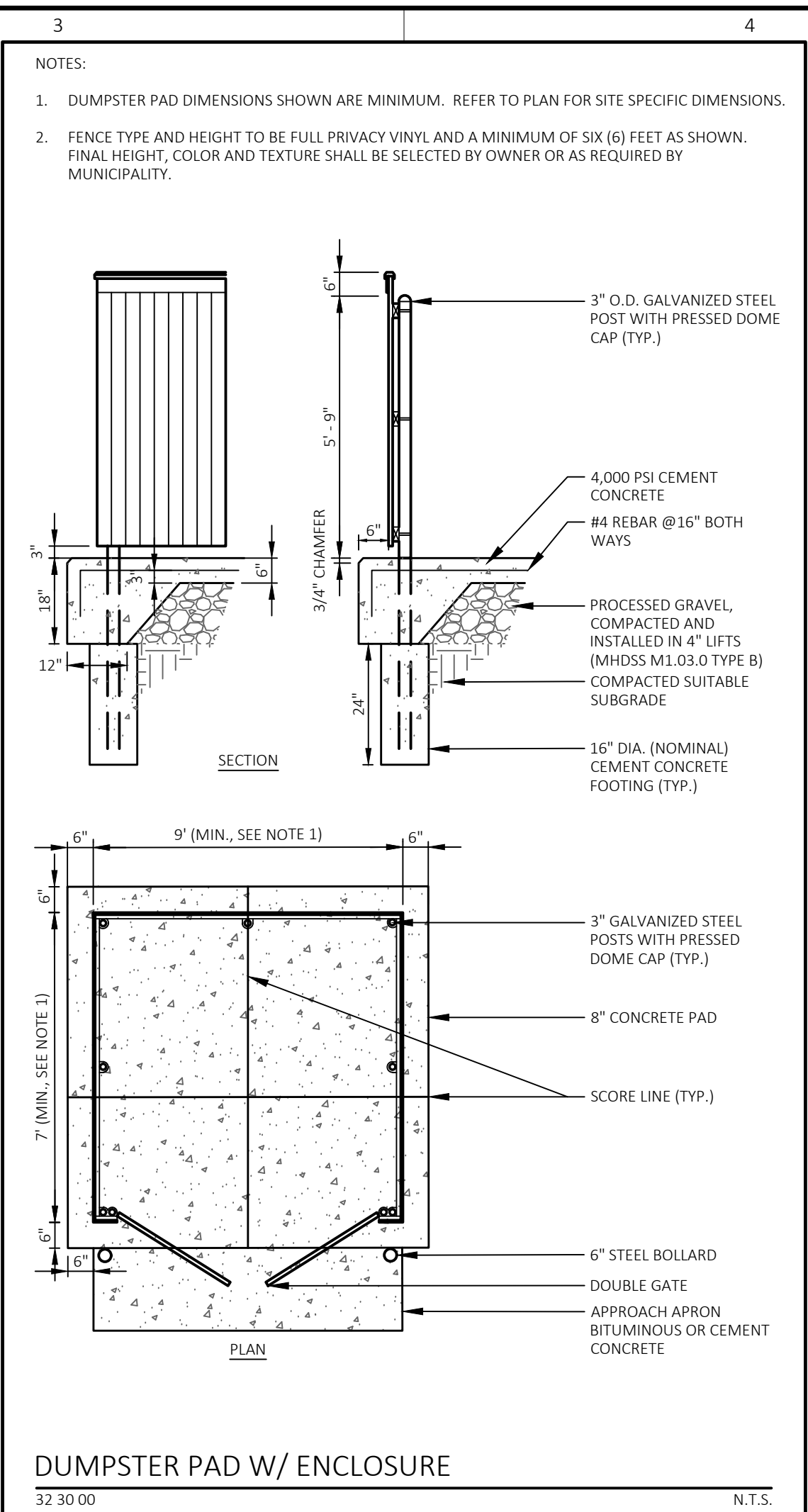
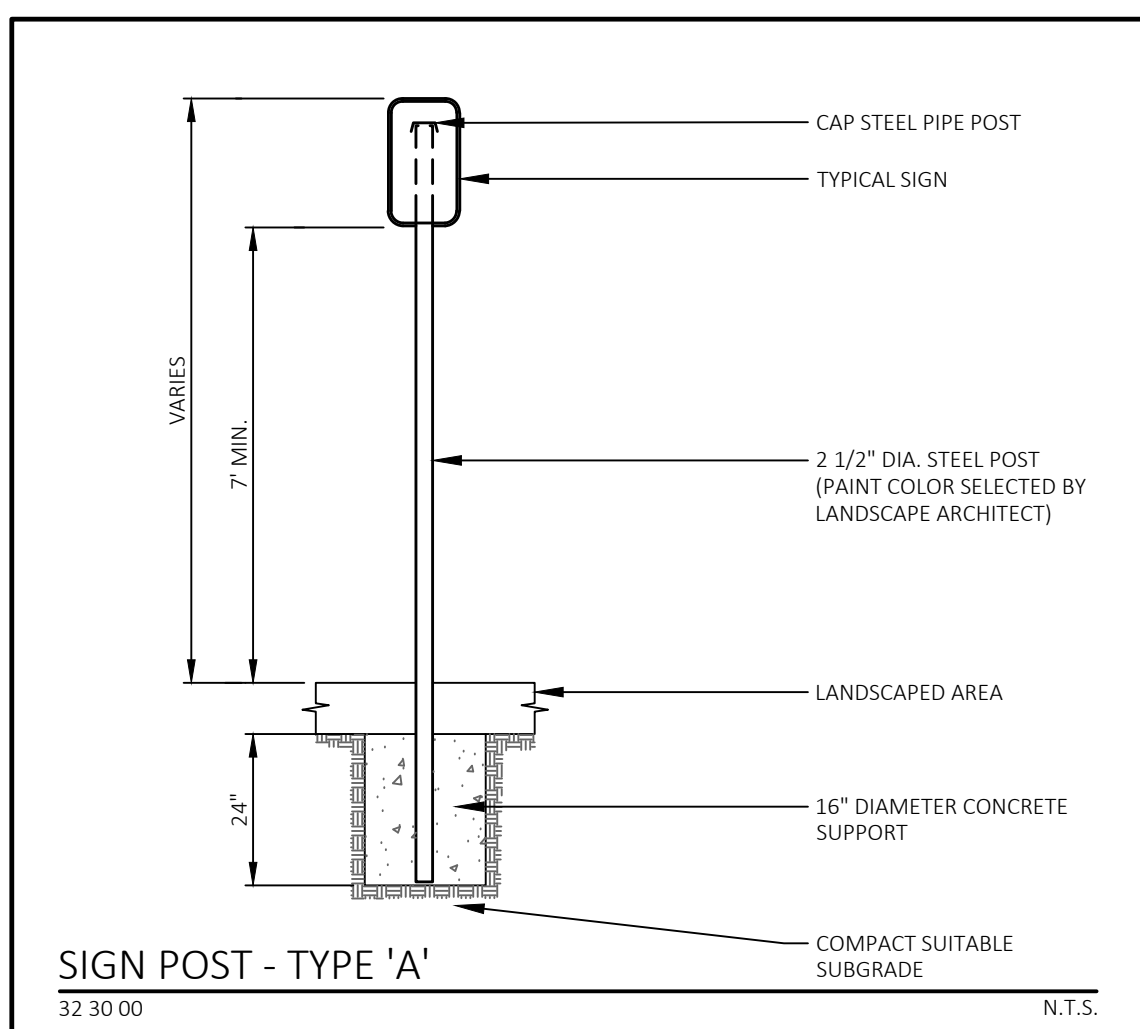
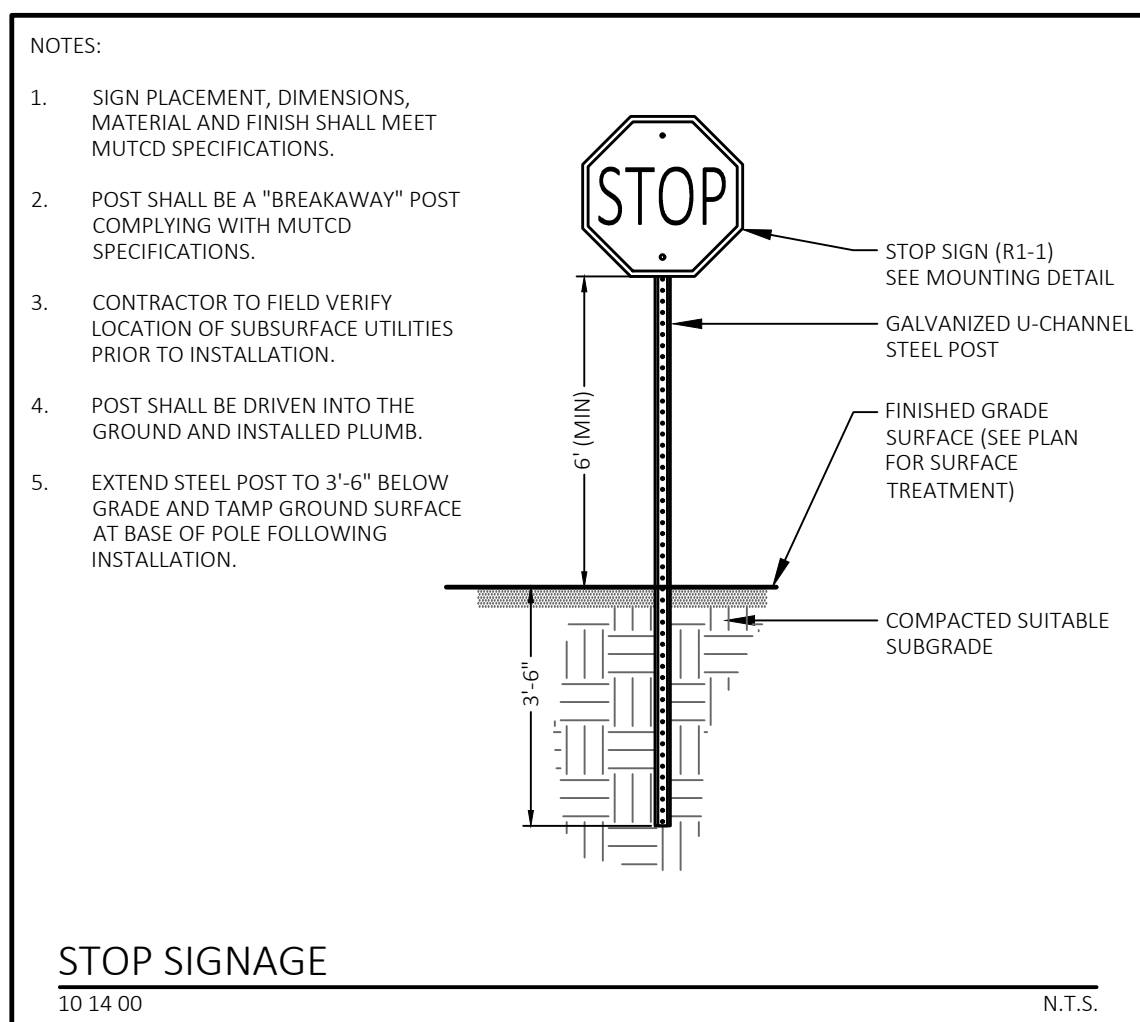
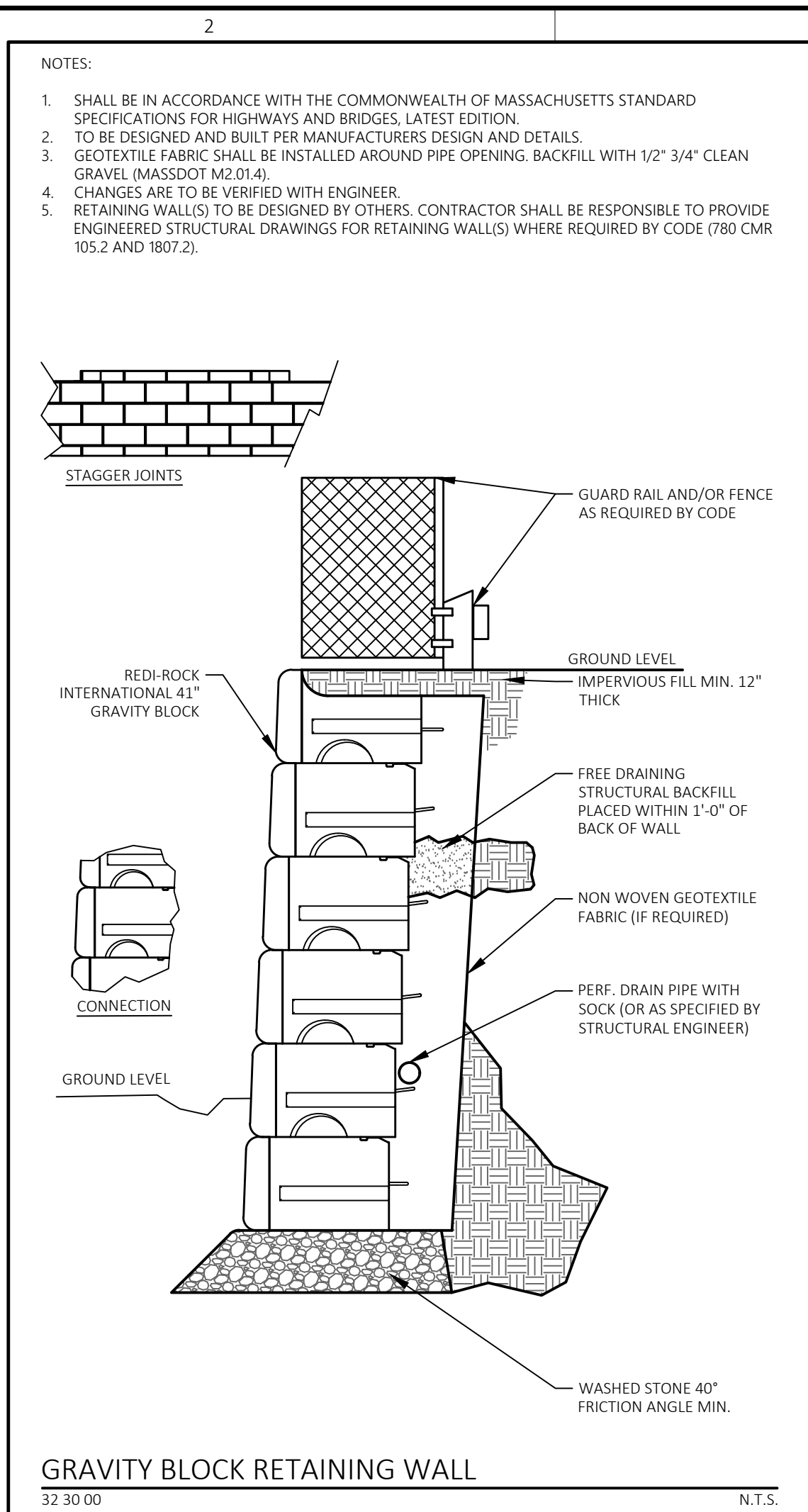
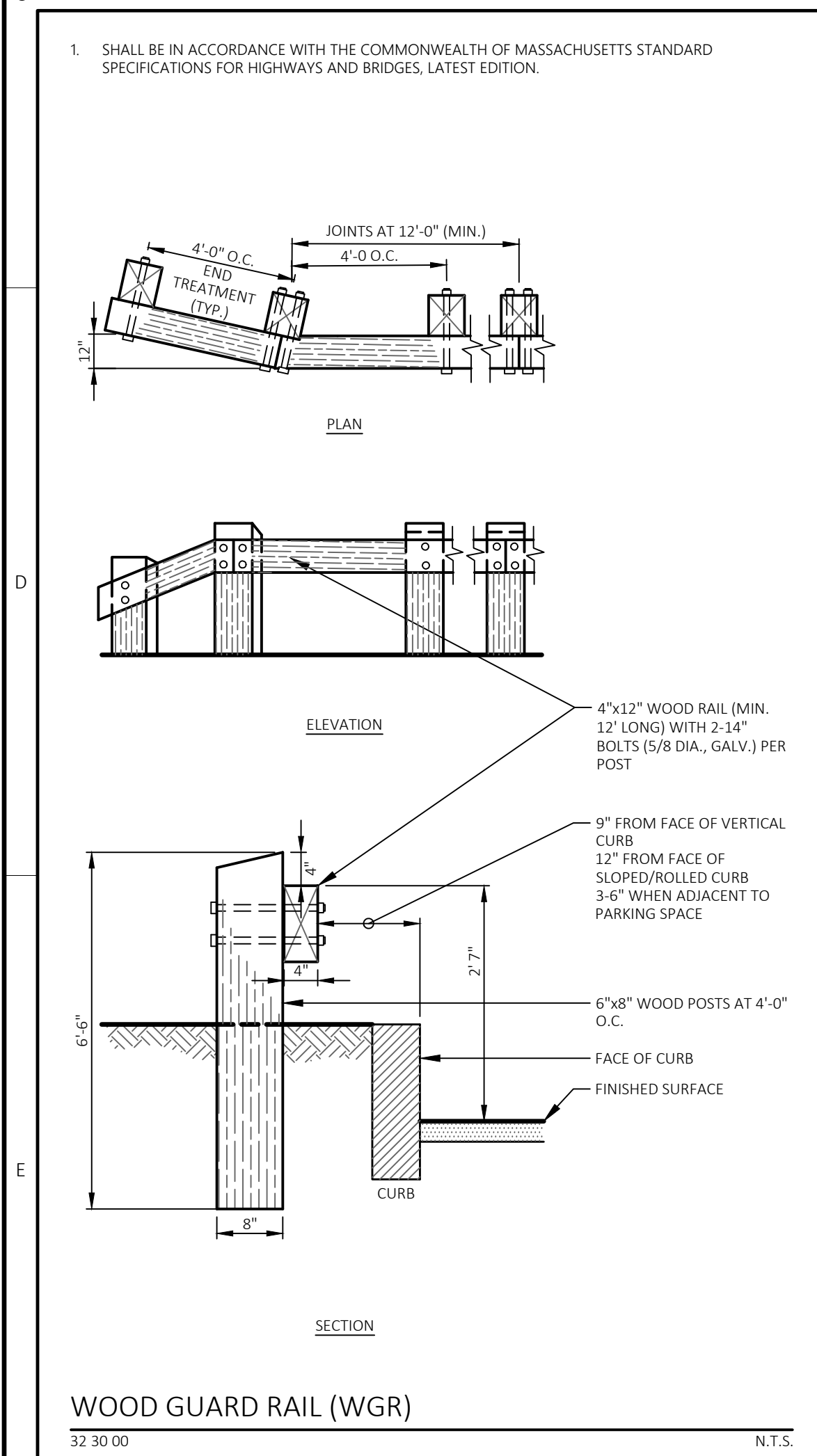
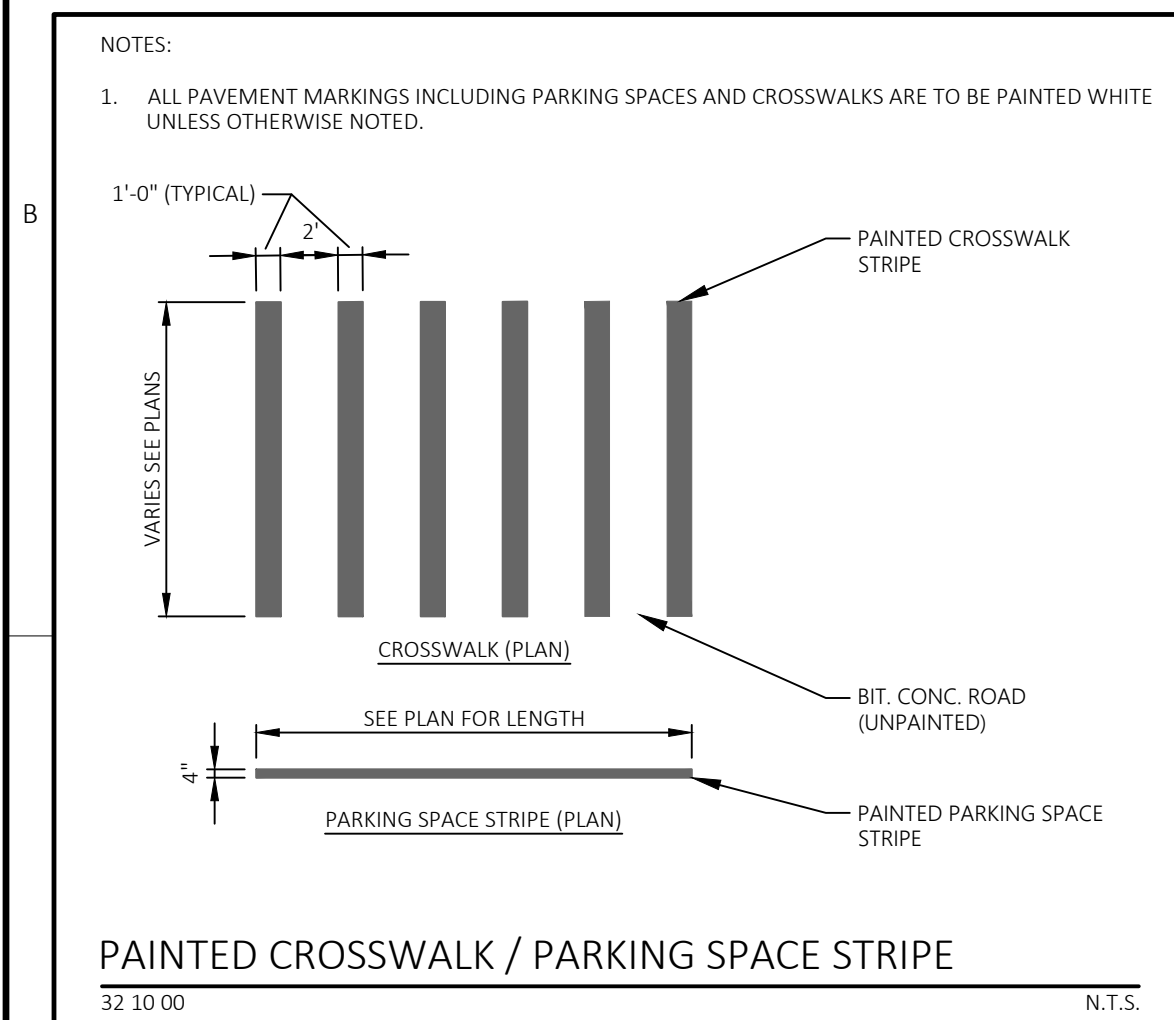
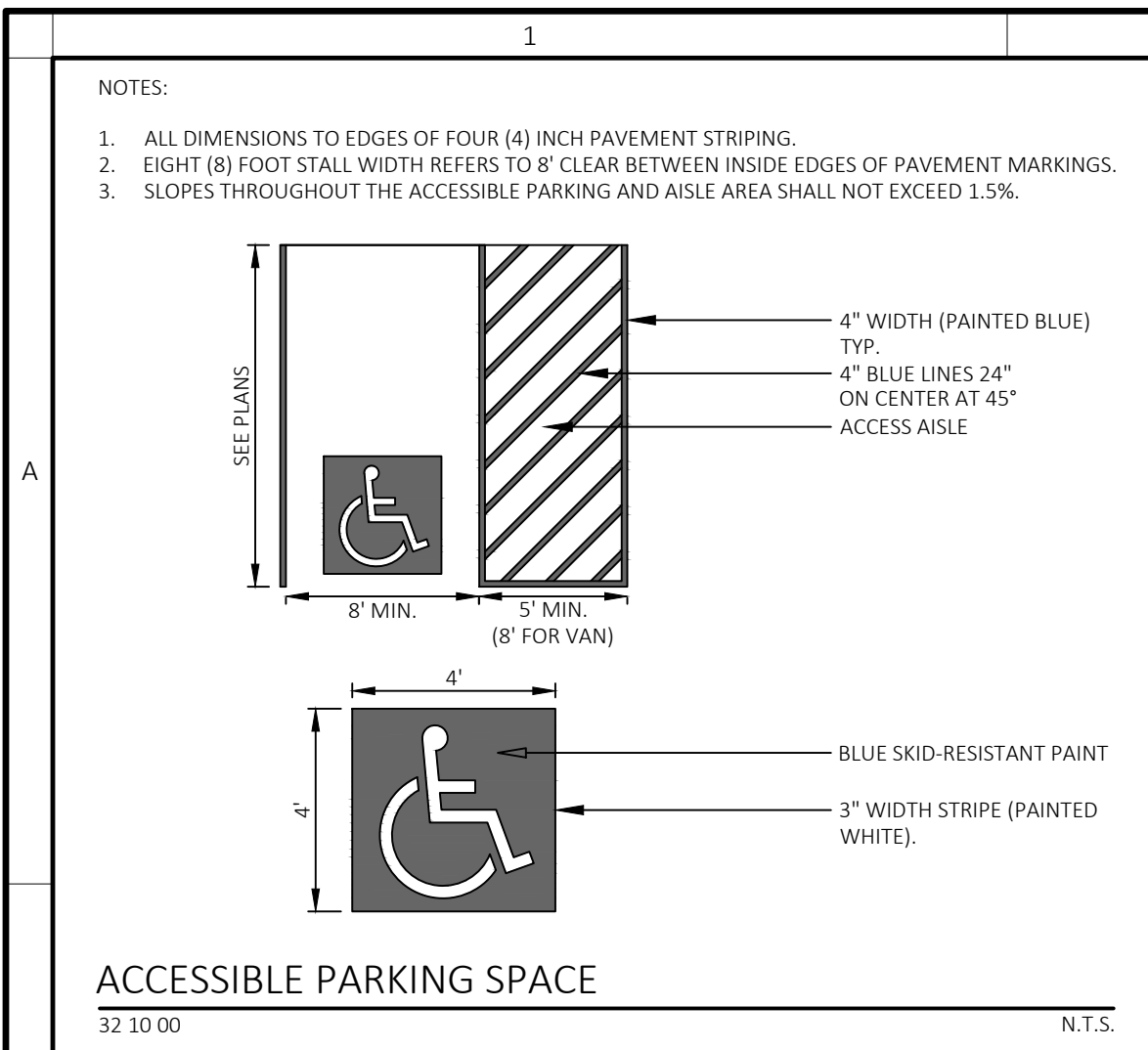
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No:	Date:	Revision   Issue:
Drawn By:	CMP	Checked By: MIS
Date:	07/26/2023	Project No.: 20-0017

Sheet No.:

**C-402**





LAND DESIGN COLLABORATIVE  
Chauncy Place | Terrace North | Suite 1  
45 Lyman Street  
Westborough, MA 01581

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NOTES

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Project Owner

Ansari  
Builders  
6 Edgewood Road  
Westborough, MA

Project Applicant

Ansari  
Builders  
6 Edgewood Road  
Westborough, MA

Project Title:

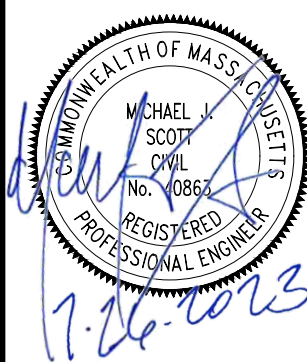
Zain Place  
580 Main Street  
North Oxford, MA  
(Worcester County)

Sheet Title:

## DETAILS

### SITE IMPROVEMENTS

## Comprehensive Permit



No:	Date:	Revision	Issue
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Drawn By: CMP	Checked By: MJS
Date: 07/26/2023	Project No.: 20-0017

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C-403



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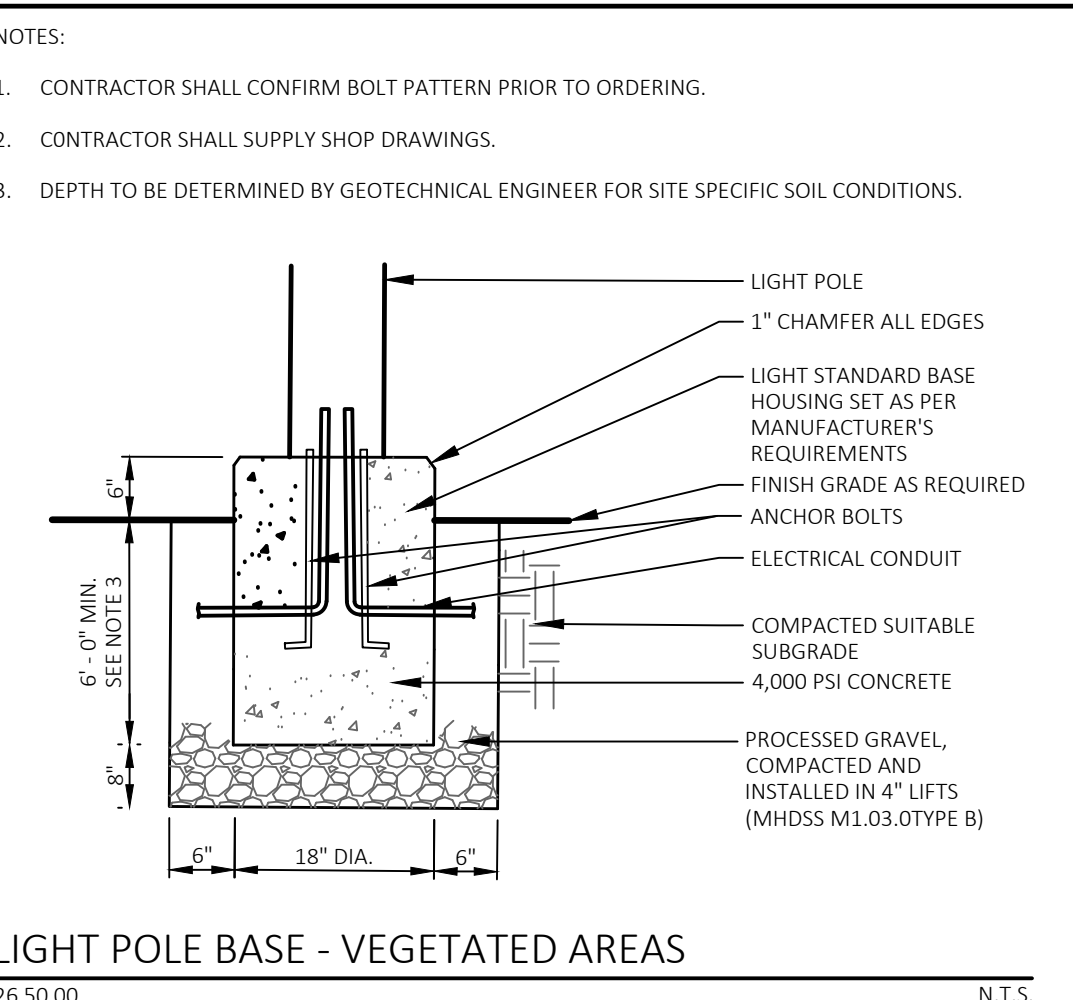
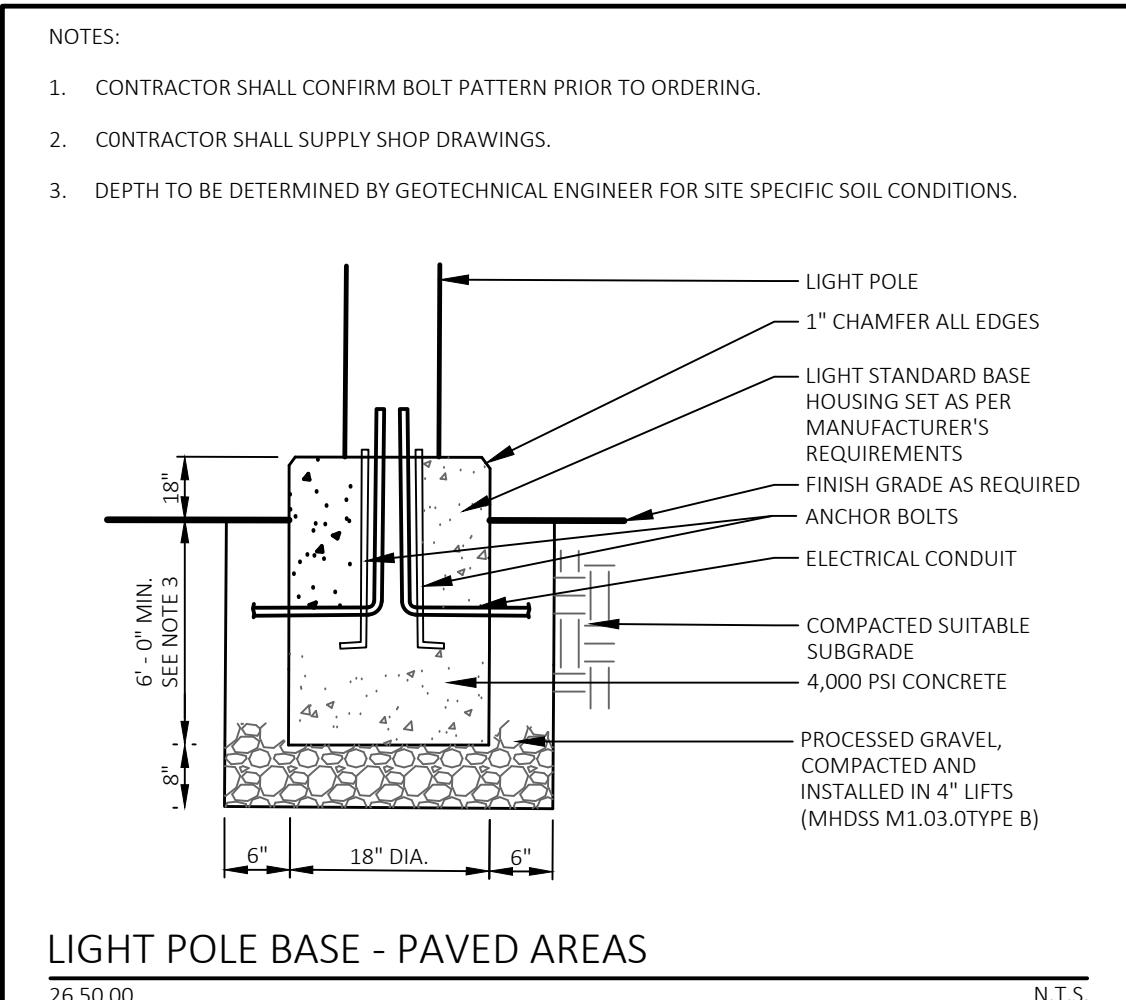
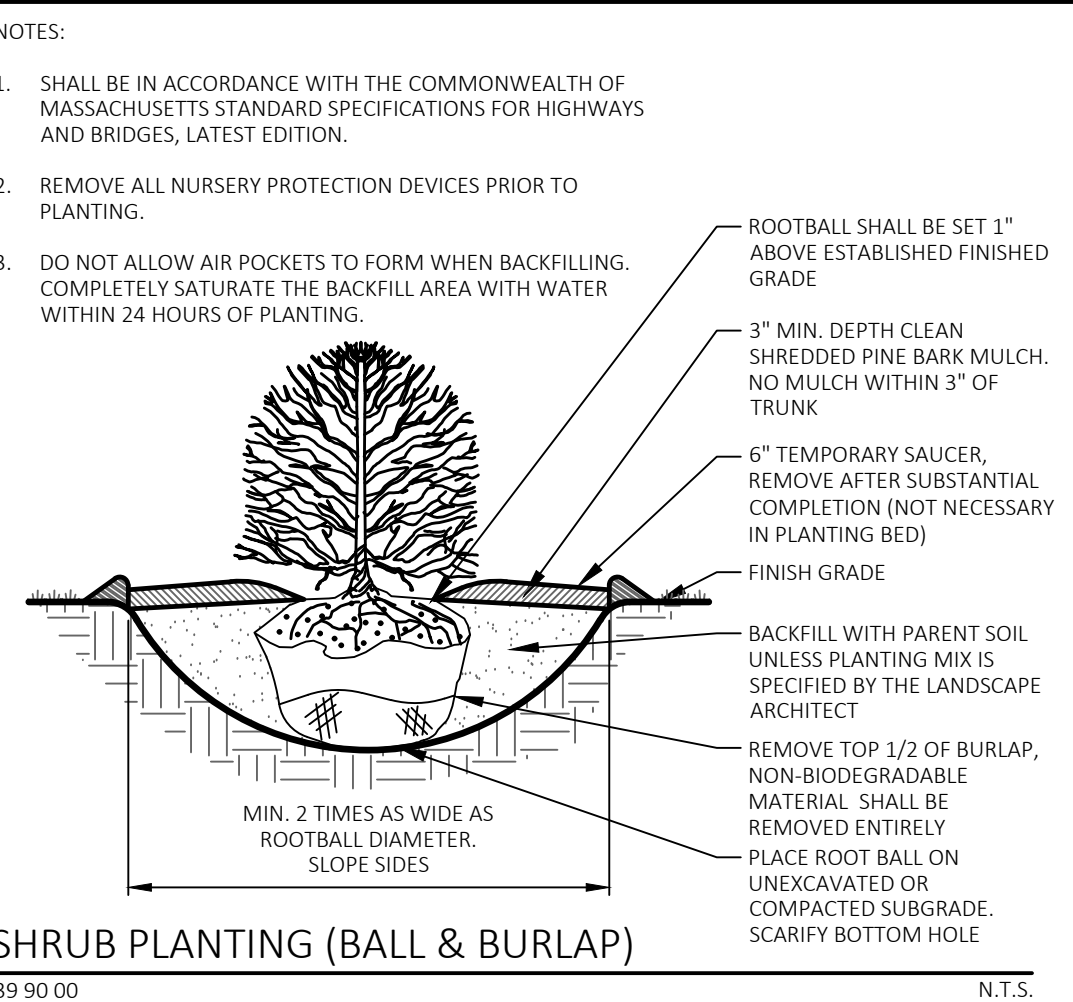
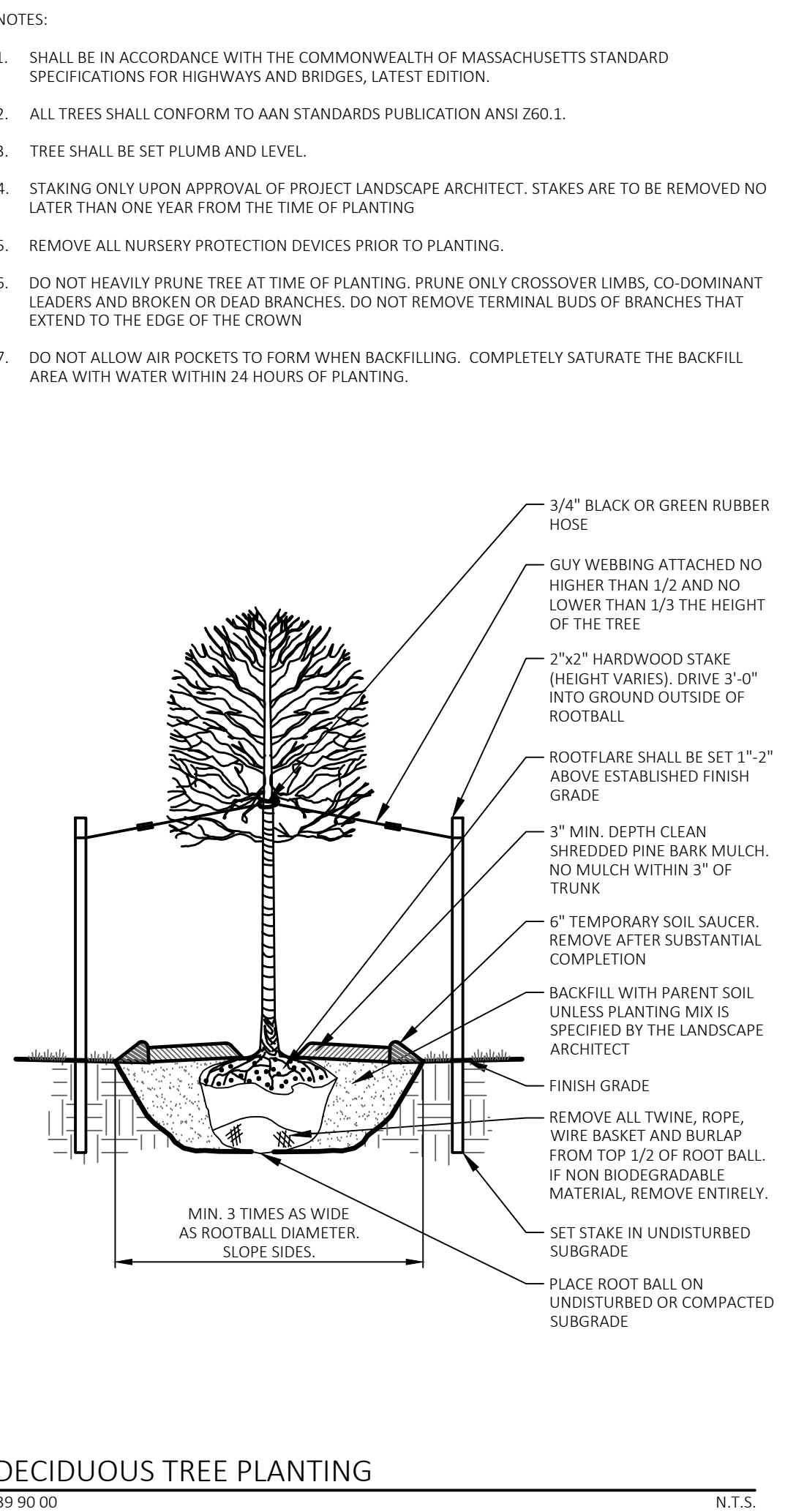
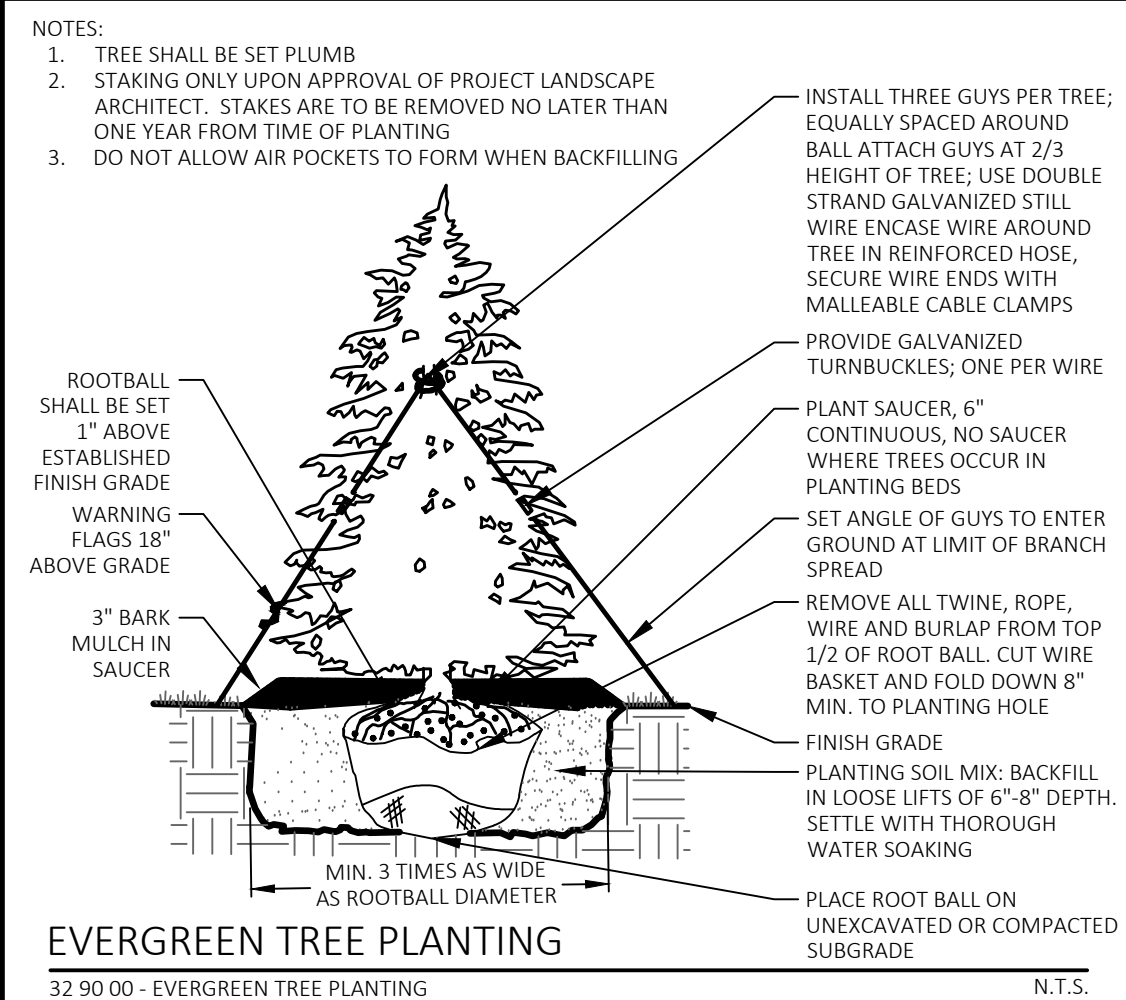
Project Applicant:

**Ansari  
Builders**  
6 Edgewood Road  
Westborough, MA

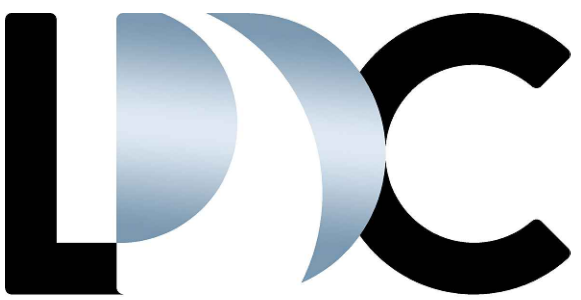
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DETAILS  
LANDSCAPING

Sheet No.:





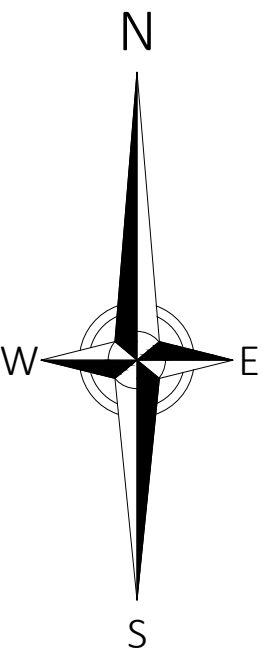


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Project Applicant:

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Builders**  
6 Edgewood Road  
Westborough, MA

Project Title:

**Zain Place**  
580 Main Street  
North Oxford, MA  
(Worcester County)

Sheet Title:

**VEHICLE TURNING  
EXHIBIT**

Comprehensive Permit

No: Date: Revision | Issue:

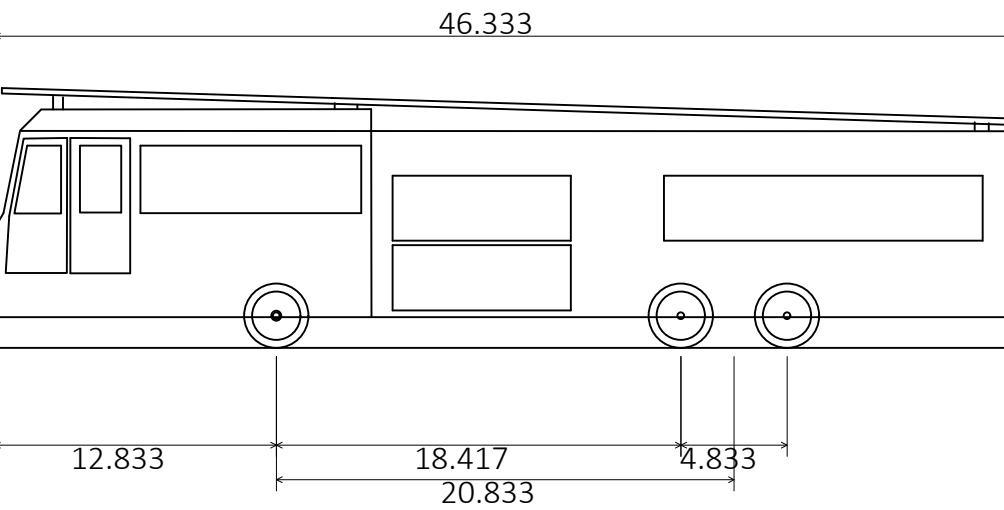
Drawn By: CMP Checked By: MIS  
Date: 7/26/2023 Project No.: 20-0017

0 15 30 60 90  
Scale: 1" = 30'

Sheet No.:

**EX-101**

OLD WORCESTER ROAD



E-ONE Emergency One Ocala FL  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

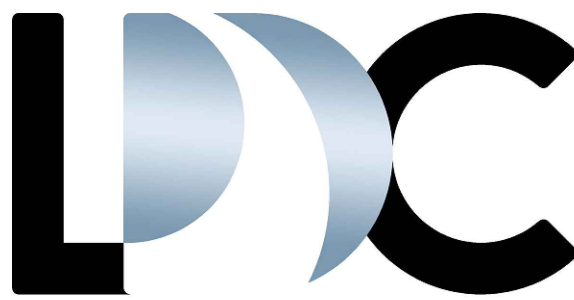
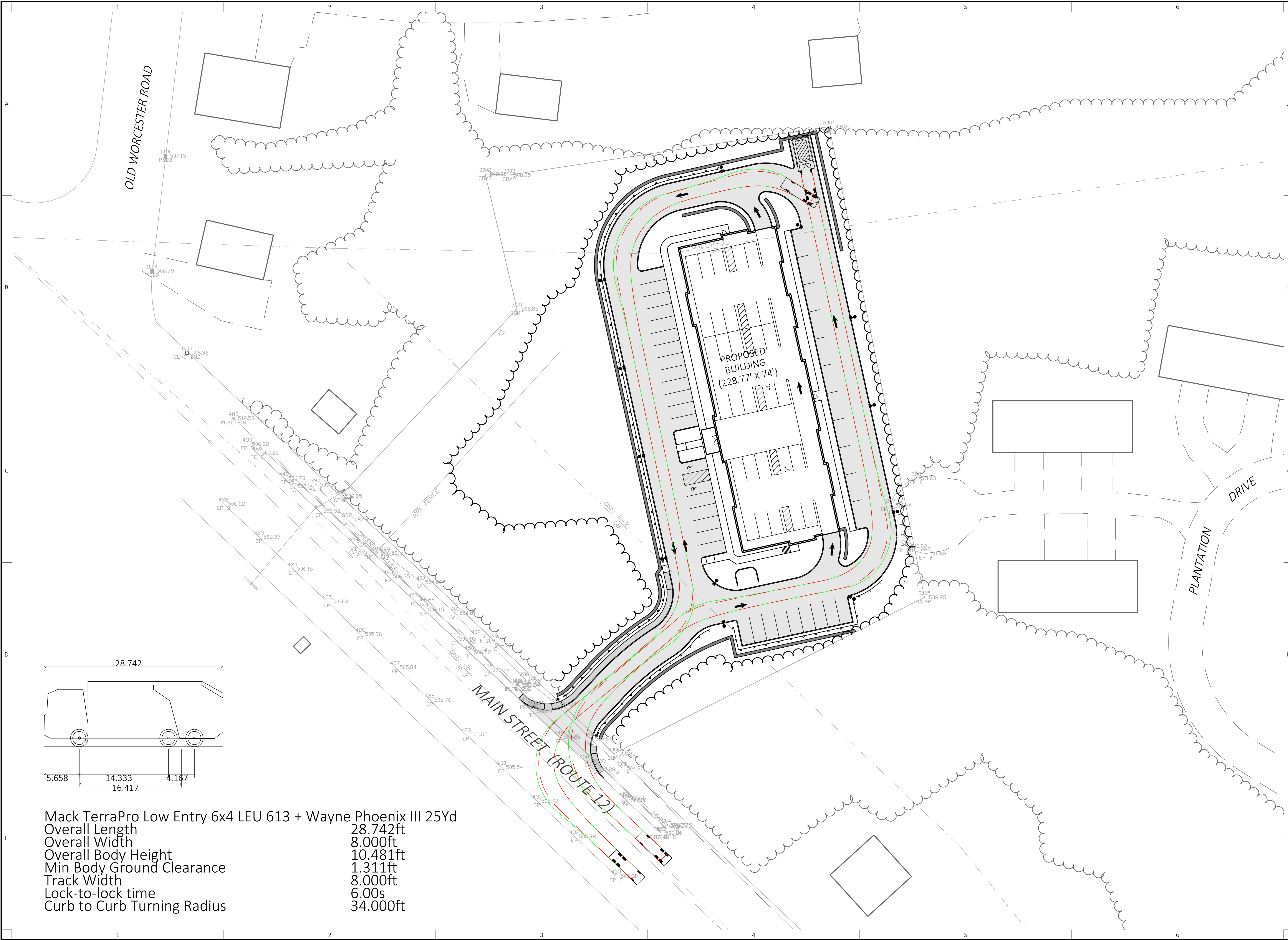
46.333ft  
8.333ft  
11.833ft  
1.393ft  
8.333ft  
6.00s  
45.00°

MAIN STREET (ROUTE 12)

PROPOSED  
BUILDING  
(228.77' X 74")

PLANTATION  
DRIVE





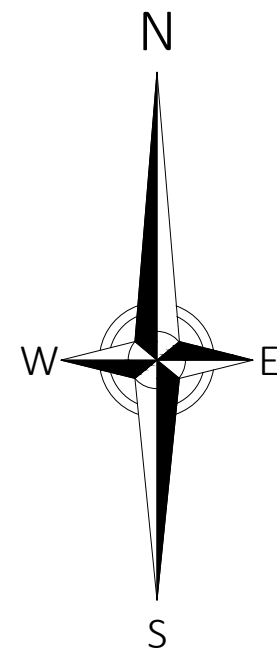
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Sheet Title:

**VEHICLE TURNING EXHIBIT**

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Scale: 1" = 30'

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**EX-102**



